



CITY OF ST. PETERSBURG, FLORIDA  
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

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## STAFF REPORT

Community Planning and Preservation Commission  
Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, January 12, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at [www.stpete.org/meetings](http://www.stpete.org/meetings).

### UPDATE: COVID-19

Procedures will be implemented to comply with the CDC guidelines during the Public Hearing, including mandatory face coverings and social distancing, with limitations on the number of attendees within Council Chambers. The City's Planning and Development Services Department requests that you visit the City website at [www.stpete.org/meetings](http://www.stpete.org/meetings) and contact the case planner for up-to-date information pertaining to this case.

According to Planning and Development Services Department records, no member of the Community Planning and Preservation Commission resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.



AGENDA ITEM:

CITY FILE NO.: 20-90200109

REQUEST:

Review of a Certificate of Appropriateness for construction of a new garage at 2151 4<sup>th</sup> Ave N, a contributing resource to Southeast Kenwood Historic District.

PROPERTY ADDRESS:

2151 4<sup>th</sup> Avenue North

OWNER: Pamela Scherer  
PARCEL ID NO.: 24-31-16-11808-004-0150  
LEGAL DESCRIPTION: BRONX BLK 4, LOT 15  
ZONING: NT-2

## Historic Significance and Existing Conditions

The masonry vernacular house at 2151 4<sup>th</sup> Avenue North (“the subject property”) is listed as a contributing resource to the Kenwood Section – Southeast Kenwood Local Historic District (18-90300001). It is additionally recorded as FMSF no. 8PI07209. The subject property was built in 1955 and is considered to be a good example of a 1950s-era ranch-style house. The house had a garage attached to the house on the rear, which was connected by a breezeway. At some point, the original garage and breezeway were enclosed to be part of the main house.



**Figure 1: Rear of house, where the original garage was located. It has since been enclosed and converted into living space. The proposed garage will be located on the right side of the property.**



## General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Consistent** According to analysis done at the time of the district's designation in 2018, approximately 58% of contributing properties featured accessory structures in addition to the primary building.

Garages and garage apartments are the most common forms of accessory structures within the subject district. Most of the garages on this alley are of similar size and form to the proposed new construction.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Consistent** The proposed new construction will continue the traditional rhythm of detached garage buildings facing the alleyway.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Consistent** The proposed new construction will continue the traditional rhythm of detached garage buildings facing the alleyway. The materials proposed to be installed on the detached garage will match the primary house.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information  
not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not  
applicable** The subject property is a contributing property.

### Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed garage will have a roof peak of approximately 12'. This is generally consistent with historic one-story accessory buildings in the subject district.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed garage will be 20' wide. Typical historic detached single-car garages tend to be approximately 10' to 12' wide, and two-car detached garages and garage apartments are commonly 18' to 24' wide. The alleyway which the garage will be facing has numerous extant garages that are 20+ feet wide, so staff finds the width to be appropriate. The proposed height of 12 feet will be compatible with the surrounding detached garages.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposal includes multiple windows, which will be interior facing. The applicant proposes simple one-over-one windows that look to be proportionate to the main building.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

**Consistent** Detached garages typically have fairly utilitarian, often sparse, fenestration patterns. The proposed garage is in keeping with the district in regarding fenestration patterns on detached garages.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

**Consistent** The accessory building's location at the rear (north) fence line is consistent with similar accessory buildings in the subject district.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

**Not applicable** The proposed building faces the rear alleyway. Its relationship with that element of the district is consistent with contributing resources.

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

**Consistent** The proposed materials will be compatible with the main house and other contributing resources in the district.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed roof has a 5:12 hipped roof. This is consistent with comparable contributing resources.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

**Consistent** The accessory building's location at the rear (north) fence line is consistent with similar accessory buildings in the subject district.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

**Consistent** The utilitarian nature of many of the accessory buildings (particularly garages) in the subject district results in comparably less fenestrations than primary residences. Staff finds the proposed massing and rhythm of the accessory building to be generally in keeping with that found in the subject district.

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

**Consistent** The overall form, massing, and placement of the proposed accessory building are key elements in creating a structure that blends in with the surrounding alley-scape. These characteristics are in keeping with surrounding accessory buildings.

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

**Consistent** No historic material will be destroyed.

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

**Consistent**

## Summary of Findings

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria met or partially met.
- Additional Guidelines for New Construction: 12 of 12 relevant criteria met or generally satisfied.

### Staff Recommendation and Conditions of Approval

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the property 2151 4<sup>th</sup> Ave. N., subject to the following:

1. Windows will be installed to be setback within the wall plane and feature a reveal of at least two inches.
2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
3. This approval will be valid for 24 months beginning on the date of revocation of the local Emergency Declaration.

# Appendix A:

Application No. 20-90200109 and Submittals





# CERTIFICATE OF APPROPRIATENESS

## APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

### GENERAL INFORMATION

|  |   |
|--|---|
| Property Address<br><u>2151 4th Ave N St Petersburg FL 33713</u>                       | Parcel Identification No.<br><u>24/31/16/11808/004/0150</u> |
| Historic District / Landmark Name<br><u>SE Kenwood Historic District</u>               | Corresponding Permit Nos.<br><u>20-10000695</u>             |
| Owner's Name<br><u>Pamela Scherer</u>  | Property Owner's Daytime Phone No.<br><u>214-558-5277</u>   |
| Owner's Address, City, State, Zip Code<br><u>2151 4th Ave N St Petersburg FL 33713</u> | Owner's Email<br><u>Schererpam2@gmail.com</u>               |
| Authorized Representative (Name & Title), if applicable<br><u>NA</u>                   | Representative's Daytime Phone No.                          |
| Representative's Address, City, State, Zip Code  | Representative's Email                                      |

| APPLICATION TYPE (Check applicable) |                  | TYPE OF WORK (Check applicable) |                         |
|-------------------------------------|------------------|---------------------------------|-------------------------|
| <input type="checkbox"/>            | Addition         | <input type="checkbox"/>        | Window Replacement      |
| <input type="checkbox"/>            | New Construction | <input type="checkbox"/>        | Door Replacement        |
| <input type="checkbox"/>            | Demolition       | <input type="checkbox"/>        | Roof Replacement        |
| <input type="checkbox"/>            | Relocation       | <input type="checkbox"/>        | Mechanical (e.g. solar) |
| <input type="checkbox"/>            | Other:           | <input type="checkbox"/>        | Repair Only             |
|                                     |                  | <input type="checkbox"/>        | In-Kind Replacement     |
|                                     |                  | <input type="checkbox"/>        | New Installation        |
|                                     |                  | <input type="checkbox"/>        | Other:                  |

### AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
  - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner: *Pamela Scherer* Date: 11/09/2020

Signature of Representative: NA Date: \_\_\_\_\_



# CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvokot ([Laura.Duvokot@stpete.org](mailto:Laura.Duvokot@stpete.org)) or Kelly Perkins ([Kelly.Perkins@stpete.org](mailto:Kelly.Perkins@stpete.org)).

## PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

| Building or Site Feature | Photo No. | Proposed Work                  |
|--------------------------|-----------|--------------------------------|
| Garage                   |           | Addition of Residential Garage |
|                          |           |                                |
|                          |           |                                |
|                          |           |                                |
|                          |           |                                |
|                          |           |                                |

## Status Detail

**Parcel ID:**

24/31/16/11808/004/0150/

**Address:**

2151 4TH AVE N

**Application Date:**

10/09/20

**Owner:**

SCHERER, PAMELA

**Application #:**

20 - 10000695

**Application Type:**ADDITIONS OF  
RESIDENTIAL  
GARAGES AND  
CARPORTS**Valuation:**

\$21,400

**Square Footage:**

000000400

**Tenant Name:****Application Status:**

IN PROCESS

**Tenant Unit Number:****General Contractor:**

RENOVATIONS INC FL

**Zoning Description:**

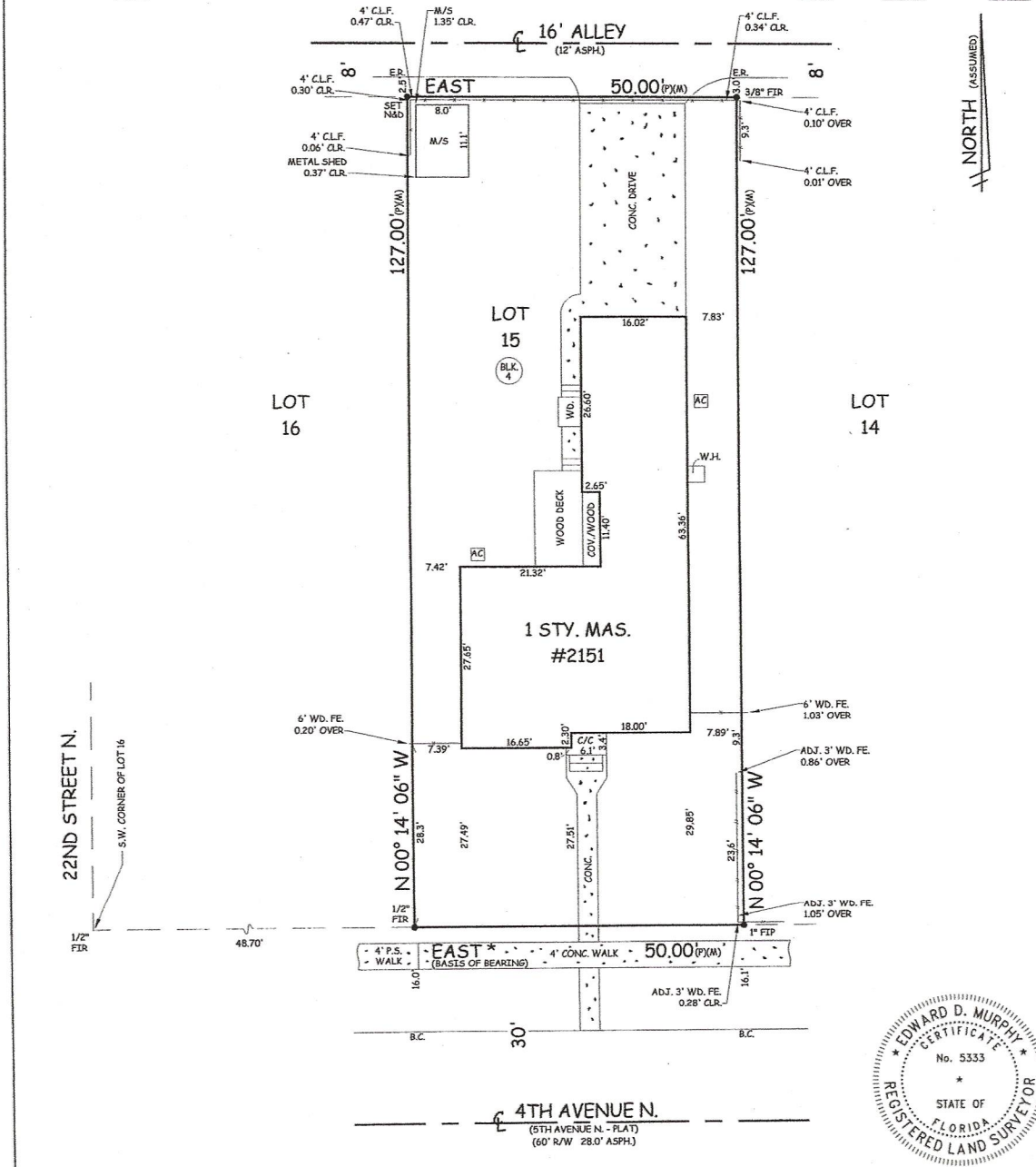
No Structure Found

Access [electronic plans \(https://eplanreview.stpete.org/epr?OWASP\\_CSRFTOKEN=1E49-U1A1-2QPO-Y4IQ-8W6E-IU7X-KULX-9FT8\)](https://eplanreview.stpete.org/epr?OWASP_CSRFTOKEN=1E49-U1A1-2QPO-Y4IQ-8W6E-IU7X-KULX-9FT8)

|                                  |   |                    |
|----------------------------------|---|--------------------|
| JOB NO.:<br><b>201230</b>        | <b>MURPHY'S LAND SURVEYING, INC.</b><br><b>PROFESSIONAL LAND SURVEYORS</b><br>5760 11TH AVENUE NORTH<br>ST. PETERSBURG, FLORIDA 33710<br>WWW.MURPHYSLANDSURVEYING.COM | L.B. #7410         |
| DRAWN BY:<br>PAD                 |   | CHECKED BY:<br>EDM |
| DATE OF FIELD WORK:<br>7/29/2020 |   | PH. (727) 347-8740 |

CERTIFIED TO: Pam Scherer  
Matthew B. Sullivan, Esquire  
Old Republic National Title Insurance Company

SCALE: 1" = 20' Survey not valid for more than one (1) year from date of field work. SEC. 24 TWP. 31 S. RGE. 16 E.



A BOUNDARY SURVEY OF: Lot 15, Block 4, PLAT OF THE BRONX ADDITION, as recorded in Plat Book 5, Page 42 of the Public Records of Pinellas County, Florida.

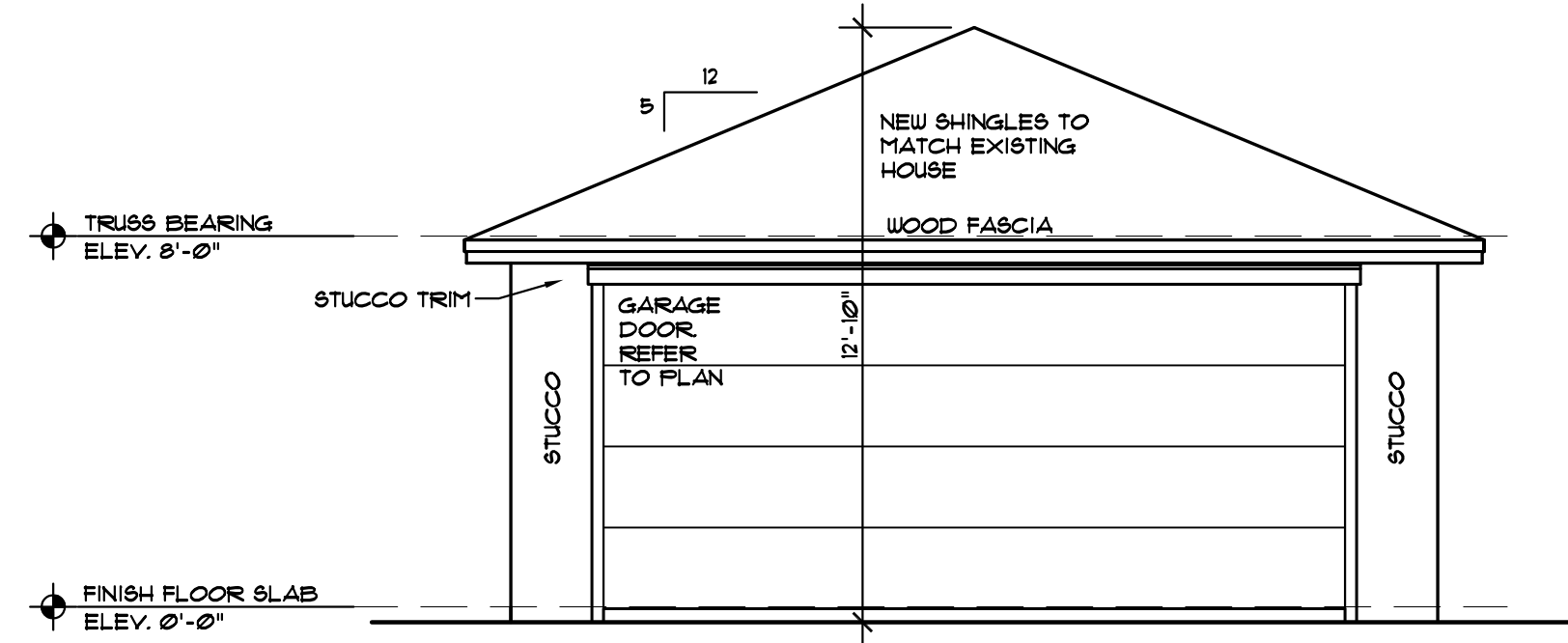
According to the maps prepared by the U.S. Department of Homeland Security, this property appears to be located in Flood zone: X Comm. Panel No.: 125148 0218 G Map Date: 9/03/03 Base Flood Elev: NA

FOR THE EXCLUSIVE USE OF THE HEREON PARTY(IES), I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE), AND THAT THE SURVEY REPRESENTED HEREON MEETS THE MINIMUM REQUIREMENTS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE TO THE BEST OF MY KNOWLEDGE AND BELIEF. UNDERGROUND FOUNDATIONS AND/OR IMPROVEMENTS, IF ANY, ARE NOT SHOWN AND OTHER RESTRICTIONS AFFECTING THIS PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF THIS COUNTY. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH. SURVEY NOT VALID FOR MORE THAN ONE YEAR FROM DATE OF FIELD WORK AND NOT VALID UNLESS EMBOSSED WITH SURVEYORS SEAL. BEARINGS SHOWN ARE BASED ON PLAT, UNLESS OTHERWISE NOTED.

\* BEARINGS SHOWN ARE ASSUMED EDWARD D. MURPHY REG. P.L.S. # 5333

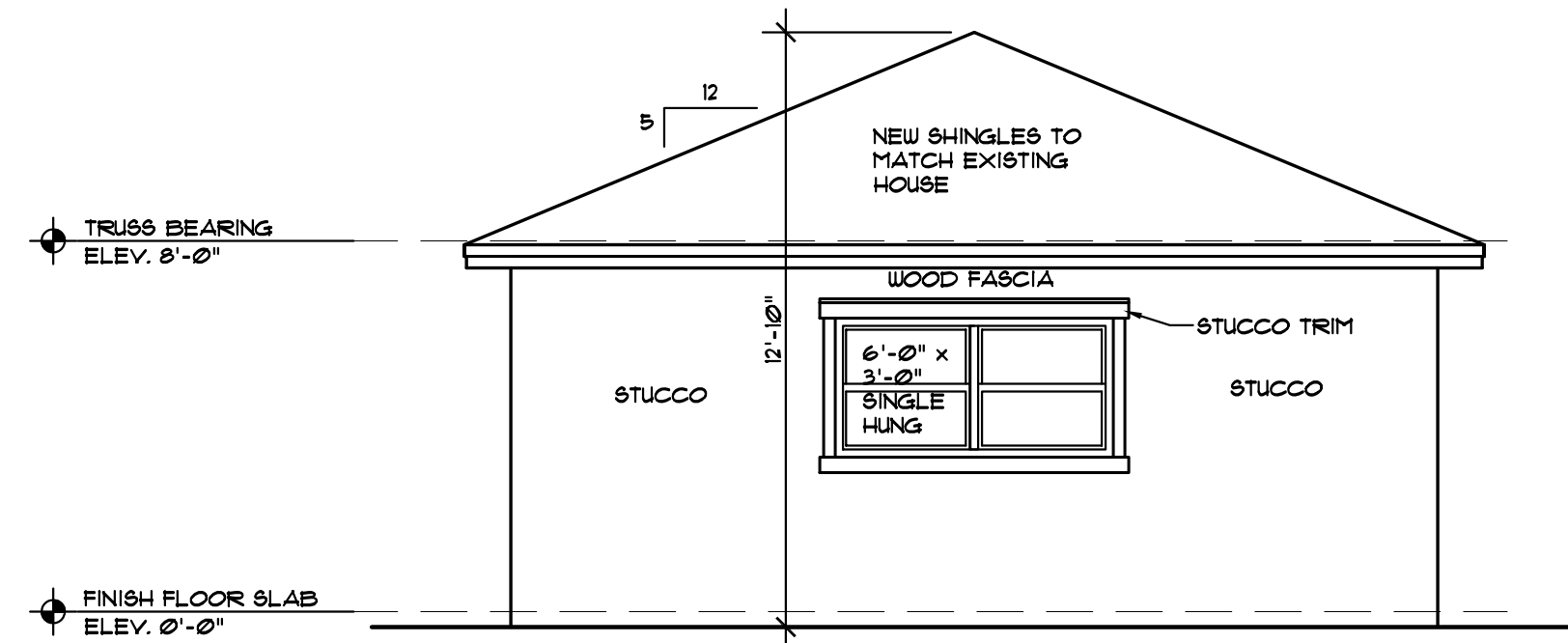
|  |                              |                     |                         |                     |                              |                                |
|--|------------------------------|---------------------|-------------------------|---------------------|------------------------------|--------------------------------|
| <b>LEGEND:</b>                                   | FD. - FOUND                  | R. - RADIUS         | M/S - METAL SHED        | WWW - WING WALL     | ESMT. - EASEMENT             | O.H. - OVERHANG                |
| F.I.P. - FOUND IRON PIPE                         | N.&D. - NAIL AND DISK        | A. - ARC            | ALUM. - ALUMINUM        | G. - CENTERLINE     | M.H. - MANHOLE               | GAR. - GARAGE                  |
| F.C.M. - FOUND CONCRETE MONUMENT                 | P.O.L. - POINT ON LINE       | C. - CHORD          | W.H. - WATER HEATER     | R.W. - RIGHT OF WAY | CONC. - CONCRETE             | C/W. - COVERED WOOD            |
| F.I.R. - FOUND IRON ROD                          | P.C. - POINT OF CURVATURE    | Δ - DELTA           | P.S. - PATIO STONE      | (P) - PLAT          | C/P.S. - COVERED PATIO STONE | CLR. - CLEAR                   |
| S.I.R. - SET IRON ROD 1/2" LB #7410              | P.T. - POINT OF TANGENCY     | R/W. - RIGHT OF WAY | C.P. - CARPORT          | (C) - CALCULATION   | COL. - COLUMN                | C/C. - COVERED CONCRETE        |
| P.R.C. - POINT OF REVERSE CURVATURE              | P.I. - POINT OF INTERSECTION | # - NUMBER          | PL - PLANTER            | (D) - DEED          | WD. - WOOD                   | AC. - AIR CONDITIONER          |
| P.C.C. - POINT OF COMPOUND CURVATURE             | %-XX- FENCE                  | MAS. - MASONRY      | B.C. - BACK OF CURB     | (M) - MEASURED      | BLK. - BLOCK                 | S.P. - SCREENED PORCH          |
| FIN. FLR. - FINISHED FLOOR ELEVATION             | FE - FENCE                   | FRM. - FRAME        | E.P. - EDGE OF PAVEMENT | N. - NORTH          | SW - SEAWALL                 | P-P - OVERHEAD POWER LINES     |
| P.R.M. - PERMANENT REFERENCE MONUMENT            | CL.F. - CHAIN LINK FENCE     | G.I. - GRATE INLET  | E.R. - EDGE OF ROAD     | S. - SOUTH          | ASPH. - ASPHALT              | T-T - OVERHEAD TELEPHONE LINES |
| N.A.V.D. - NORTH AMERICAN VERTICAL DATUM OF 1988 | -H- - ADJACENT FENCE         | C.B. - CATCH BASIN  | E.O.W. - EDGE OF WATER  | E. - EAST           | UTIL. - UTILITY              | P-P - POWER POLE               |
|  | ADJ. - ADJACENT              | F.H. - FIRE HYDRANT | T.O.B. - TOP OF BANK    | W. - WEST           | DR. - DRAINAGE               | LP. - LIGHT POLE               |





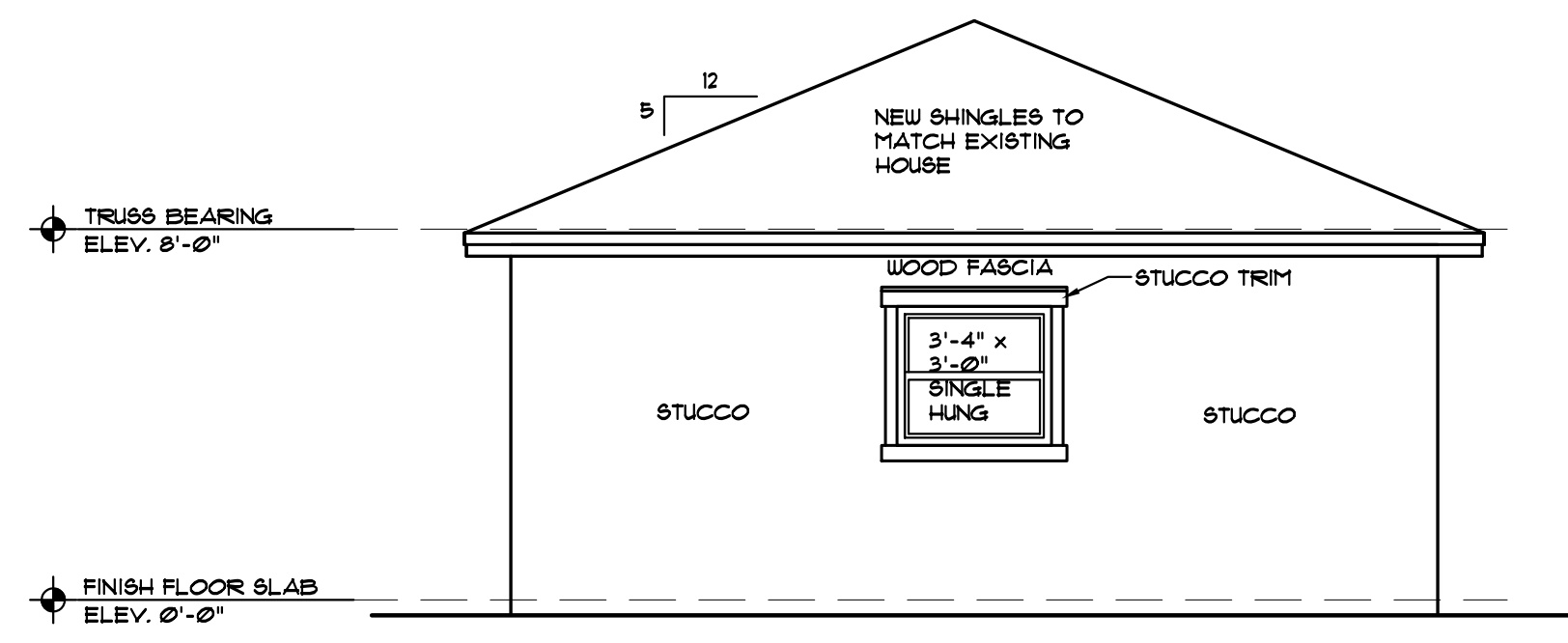
**NORTH ELEVATION**

SCALE: 1/4"=1'-0" (IN FEET)  
0 2' 4' 8'



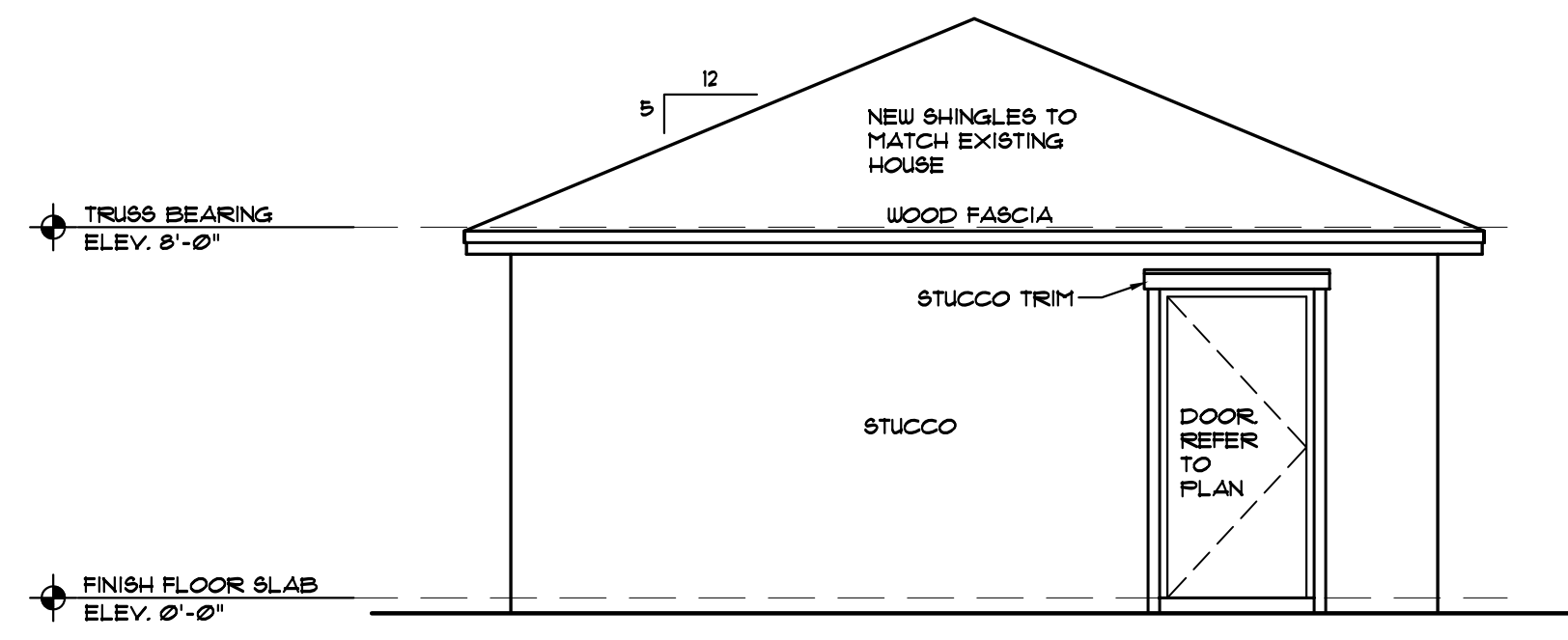
**SOUTH ELEVATION**

SCALE: 1/4"=1'-0" (IN FEET)  
0 2' 4' 8'



**EAST ELEVATION**

SCALE: 1/4"=1'-0" (IN FEET)  
0 2' 4' 8'



**WEST ELEVATION**

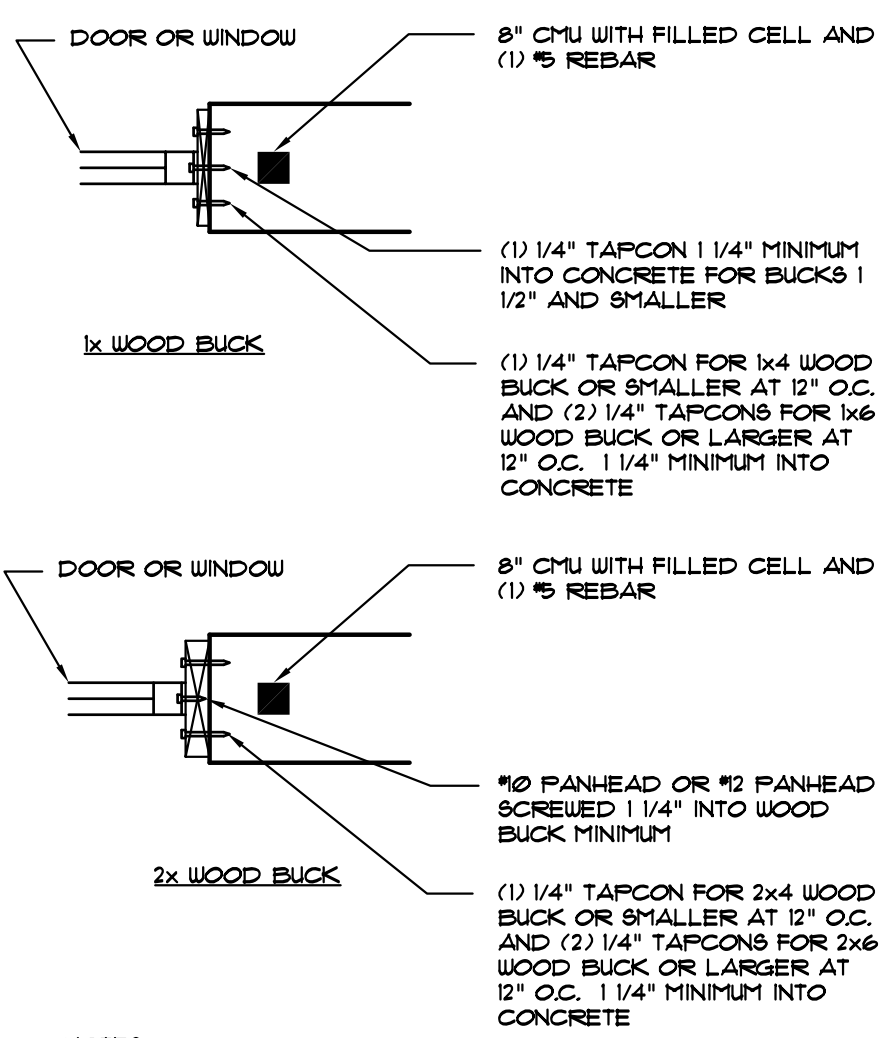
SCALE: 1/4"=1'-0" (IN FEET)  
0 2' 4' 8'

IMPACT RESISTANT GLAZING AT ALL NEW DOORS AND WINDOWS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

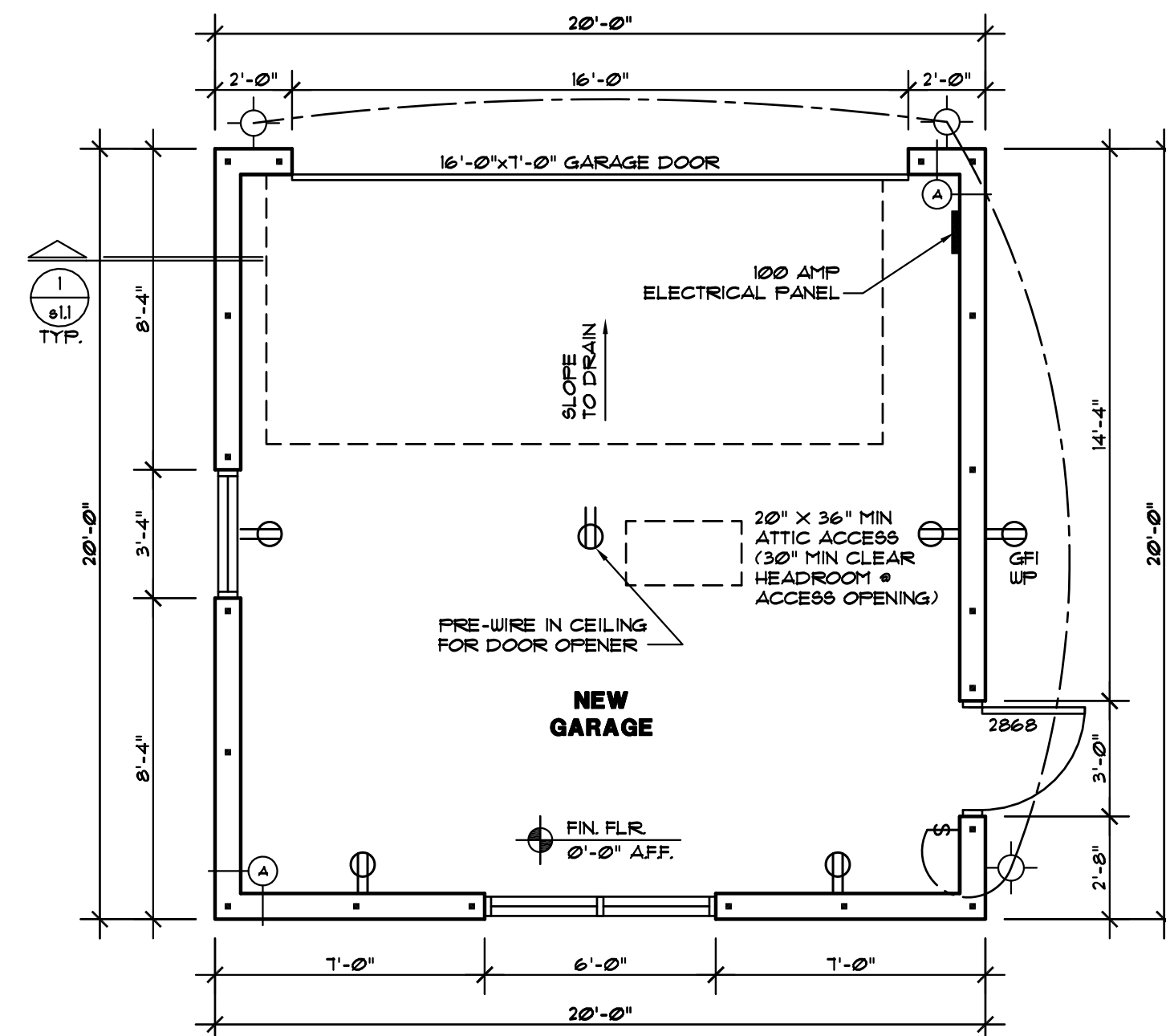
**ELEVATION NOTES:**

1. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES
2. DOOR AND WINDOW OPENINGS THAT READ 3080, 20X40, ETC. ARE 3'-0"X8'-0", 2'-0"X4'-0", ETC.

**DOOR AND WINDOW FASTENING:**



**NOTES:**  
WHERE WOOD SHIM OR BUCK IS LESS THAN 1 1/2", WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED THROUGH THE JAMB. REFER TO 1x BUCK DETAIL ABOVE.  
BUCK MUST BE ATTACHED TO TRANSFER THE LOAD TO THE SUBSTRATE.  
BUCK MUST EXTEND BEYOND THE INTERIOR LIP OF THE WINDOW/DOOR PROVIDING FULL SUPPORT.  
WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED AS SHOWN ABOVE OR PER MANUFACTURER'S RECOMMENDATIONS PER THE DESIGNED LOADS (USE WORST CASE).  
BUCK SHALL BE CONTINUOUS ON ALL SIDES OF FRAME.



**FLOOR AND ELECTRICAL PLAN**

SCALE: 1/4"=1'-0" (IN FEET)  
0 2' 4' 8'

**ELECTRICAL NOTES:**

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES. CODES AND ORDINANCES SHALL TAKE PRECEDENCE OVER THE CONSTRUCTION DOCUMENTS ONLY IN THE CASE OF CONFLICT.
2. FIXTURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.
3. ALL RECEPTACLES SHALL BE WIRED TO AN ARC FAULT CIRCUIT INTERRUPTER.

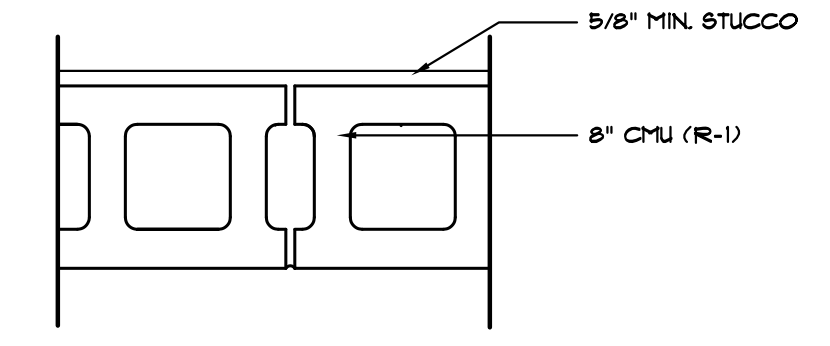
FIXTURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.

**ELECTRICAL KEY**

| SYMBOL   | DESCRIPTION                                       |
|----------|---|
| [Symbol] | DUPLEX CONVENIENCE OUTLET                         |
| [Symbol] | DUPLEX OUTLET ABOVE COUNTER                       |
| [Symbol] | GROUND FAULT INTERRUPTER DUPLEX OUTLET            |
| [Symbol] | WATER PROOF DUPLEX OUTLET                         |
| [Symbol] | 220 VOLT OUTLET                                   |
| [Symbol] | DUPLEX FLOOR MOUNTED OUTLET                       |
| [Symbol] | WALL SWITCH (D=DIMMER)                            |
| [Symbol] | ELECTRIC PANEL                                    |
| [Symbol] | SMOKE DETECTOR                                    |
| [Symbol] | TELEVISION CABLE OUTLET                           |
| [Symbol] | TELEPHONE   |
| [Symbol] | EXHAUST FAN                                       |
| [Symbol] | FLUORESCENT                                       |
| [Symbol] | WALL MOUNTED INCANDESCENT LIGHT FIXTURE           |
| [Symbol] | INCANDESCENT LIGHT FIXTURE CEILING RECESSED       |
| [Symbol] | INCANDESCENT LIGHT FIXTURE CEILING MOUNTED        |
| [Symbol] | DOOR CHIME  |
| [Symbol] | DOOR BELL   |
| [Symbol] | SOFFIT MOUNTED SPOT LIGHT WITH MOTION SENSOR      |
| [Symbol] | ARMABLE RECESSED FIXTURE                          |
| [Symbol] | HANGING CEILING FIXTURE (OWNER SELECT CHANDELIER) |

**WALL TYPES:**

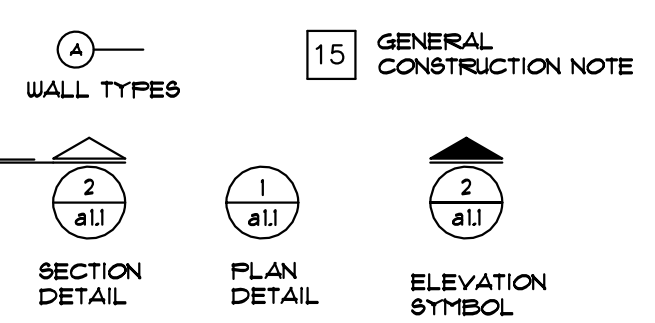
- SCALE: 1 1/2" = 1'-0"  
NOTES:  
1. PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.  
2. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.



**WALL TYPE A**

VALUE = R-1

**LEGEND:**



**BUILDING DATA**

THE BUILDING SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES:  
FLORIDA BUILDING CODE 6TH EDITION (2017)  
FLORIDA MECHANICAL CODE 6TH EDITION (2017)  
FLORIDA PLUMBING CODE 6TH EDITION (2017)  
FLORIDA EXISTING BUILDING CODE 6TH EDITION (2017)  
FLORIDA FUEL GAS 6TH EDITION (2017)  
FLORIDA BUILDING CODE-ENERGY CONSERVATION 6TH EDITION (2017)  
FLORIDA BUILDING CODE-TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES 6TH EDITION (2017)  
FLORIDA FIRE PREVENTION CODE 6TH EDITION (2017)  
FLORIDA ACCESSIBILITY CODE 6TH EDITION (2017)  
2014 NATIONAL ELECTRIC CODE (NFPA 70)  
FLOOD RESISTANT DESIGN 4 CONSTRUCTION ASCE 24-08 (FBC 10), 102, FBC RES R322)  
DESIGN LOADS PER STRUCTURAL DRAWINGS  
BUILDING OCCUPANCY: R-3  
CONSTRUCTION TYPE: TYPE III-B CMU EXTERIOR BEARING UNSPRINKLERED

**GENERAL NOTES:**

1. CONCRETE TILE BACKER ON ALL SHOWER AND TUB WALLS.
2. VERIFY WINDOW OPENING DIMENSIONS W/ MANUFACTURER SIZES.
3. DOOR AND WINDOW OPENINGS THAT READ 3080, 20X40, ETC. ARE 3'-0"X8'-0", 2'-0"X4'-0", ETC.
4. COORDINATE ALL APPLIANCE AND PLUMBING FIXTURE OPENINGS WITH CABINETRY.
5. DIMENSIONS SHOWN ON PLANS ARE FROM FACE OF STUDS AND FACE OF MASONRY UNLESS SHOWN OTHERWISE. EXTERIOR WALL DIMENSIONS ARE FROM FACE OF STUD.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
7. FOR ENERGY CODE COMPLIANCE ALL OPERATION MANUALS SHALL BE FURNISHED TO OWNER
8. ANY "WORK" STARTED OR COMPLETED WITHOUT THE PROPER PERMITS OR INSPECTIONS IS SUBJECT TO REMOVAL. ALL "WORK" IS TO BE EXPOSED AND AVAILABLE FOR VISUAL INSPECTION.
9. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND FIELD CONDITIONS.

**AREA BREAKDOWN:**

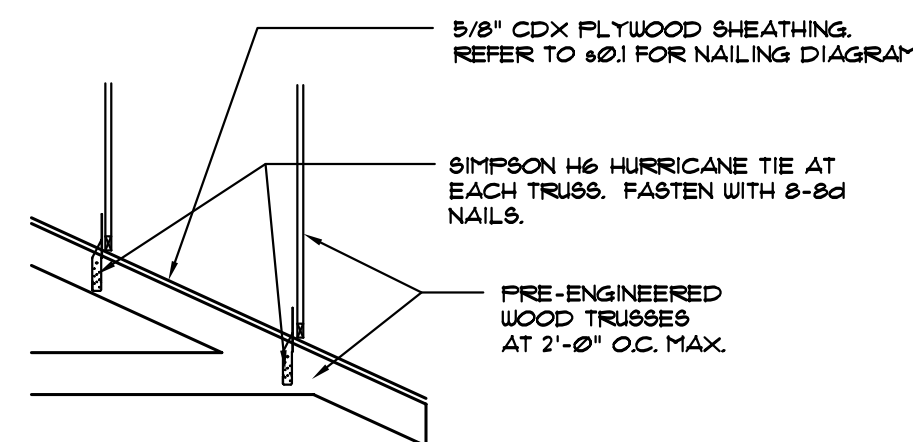
NEW GARAGE: 400 SQ. FT.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

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**2151 4th Ave. N.**  
New Garage  
Florida  
St. Petersburg,

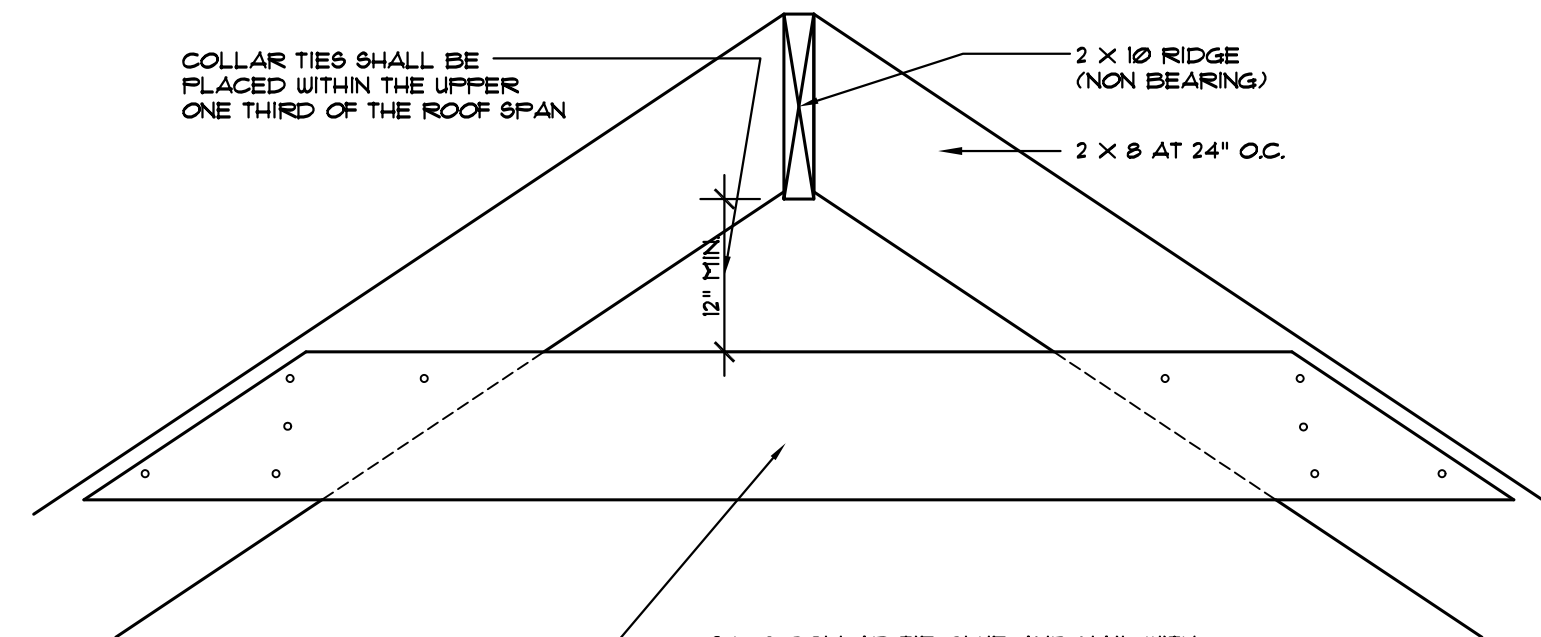
**Floor Plan**  
Revisions:  
Project No. 2020-066R  
Date: September 5, 2020  
Michael Arriago  
Date: 2020.10.09  
MICHAEL ARRIAGO  
LIC. NO. AR20071335  
**a1.1**



### ALTERNATE - VALLEY FRAMING DETAIL

SCALE: 3/4" = 1'-0"

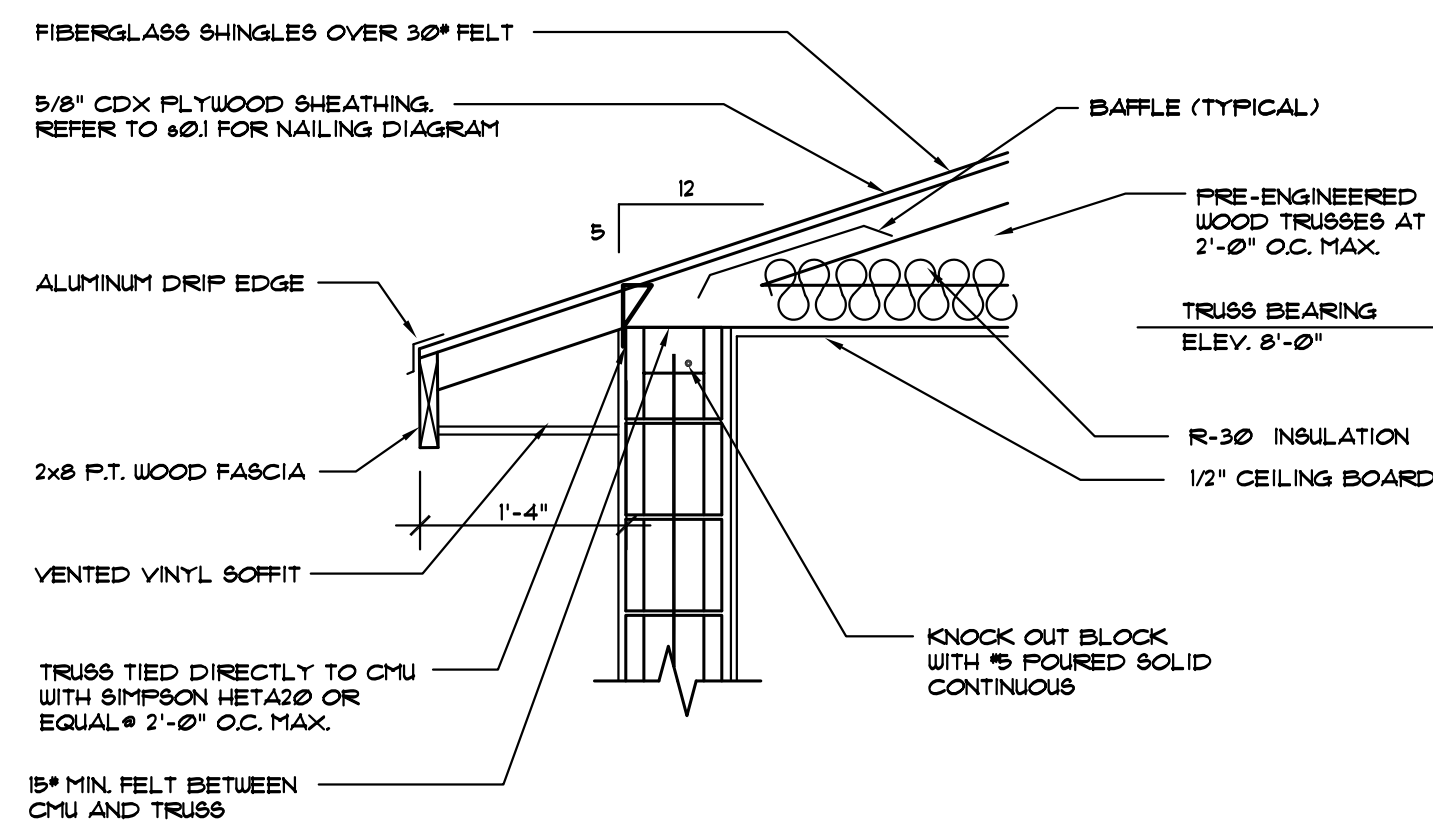
**3**  
s2.1



### COLLAR TIE DETAIL

SCALE: 1" = 1'-0"

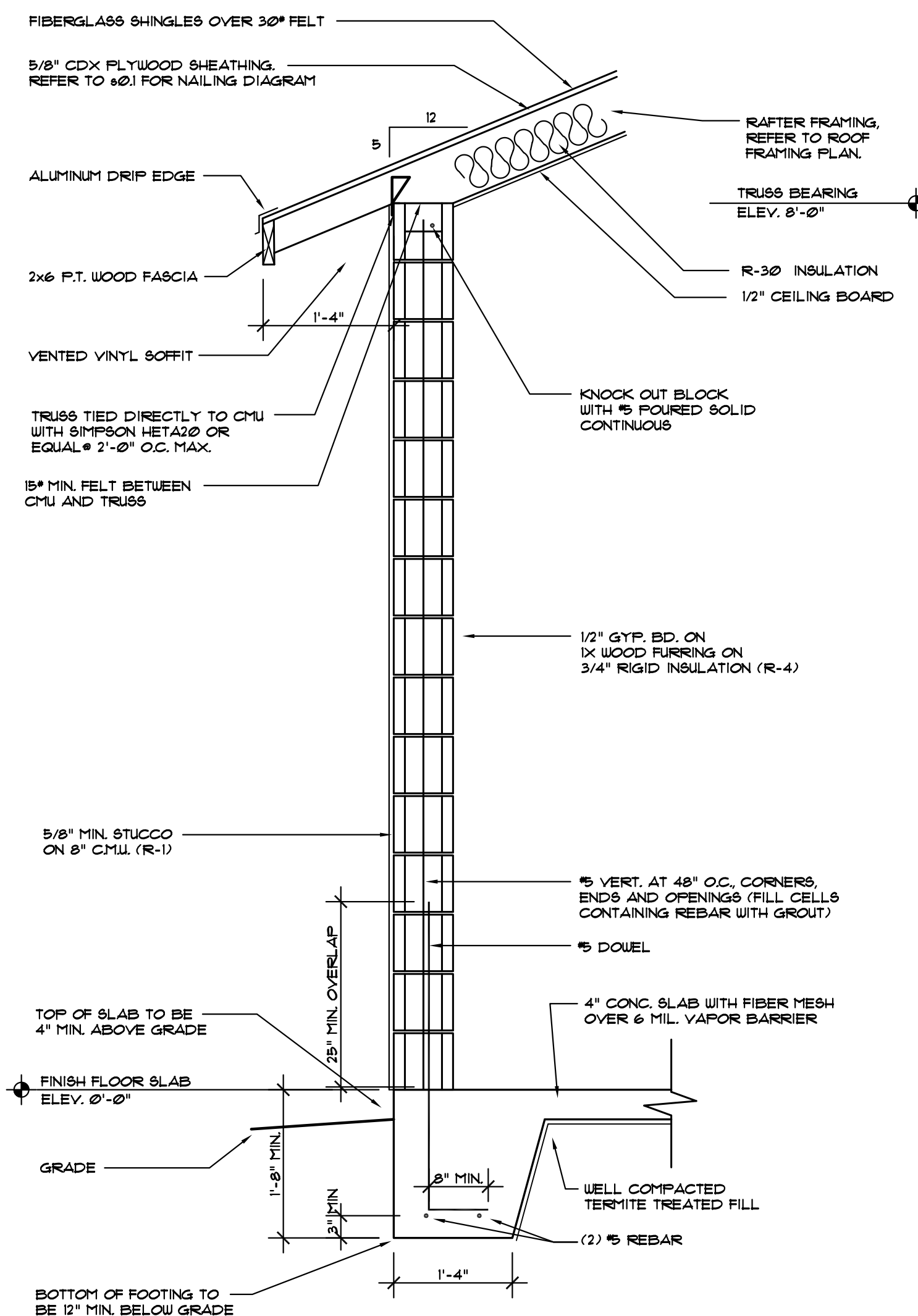
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s2.1



### ALTERNATE - TYP. TRUSS BEARING DETAIL

SCALE: 3/4" = 1'-0"

**4**  
s2.1



### TYPICAL WALL SECTION

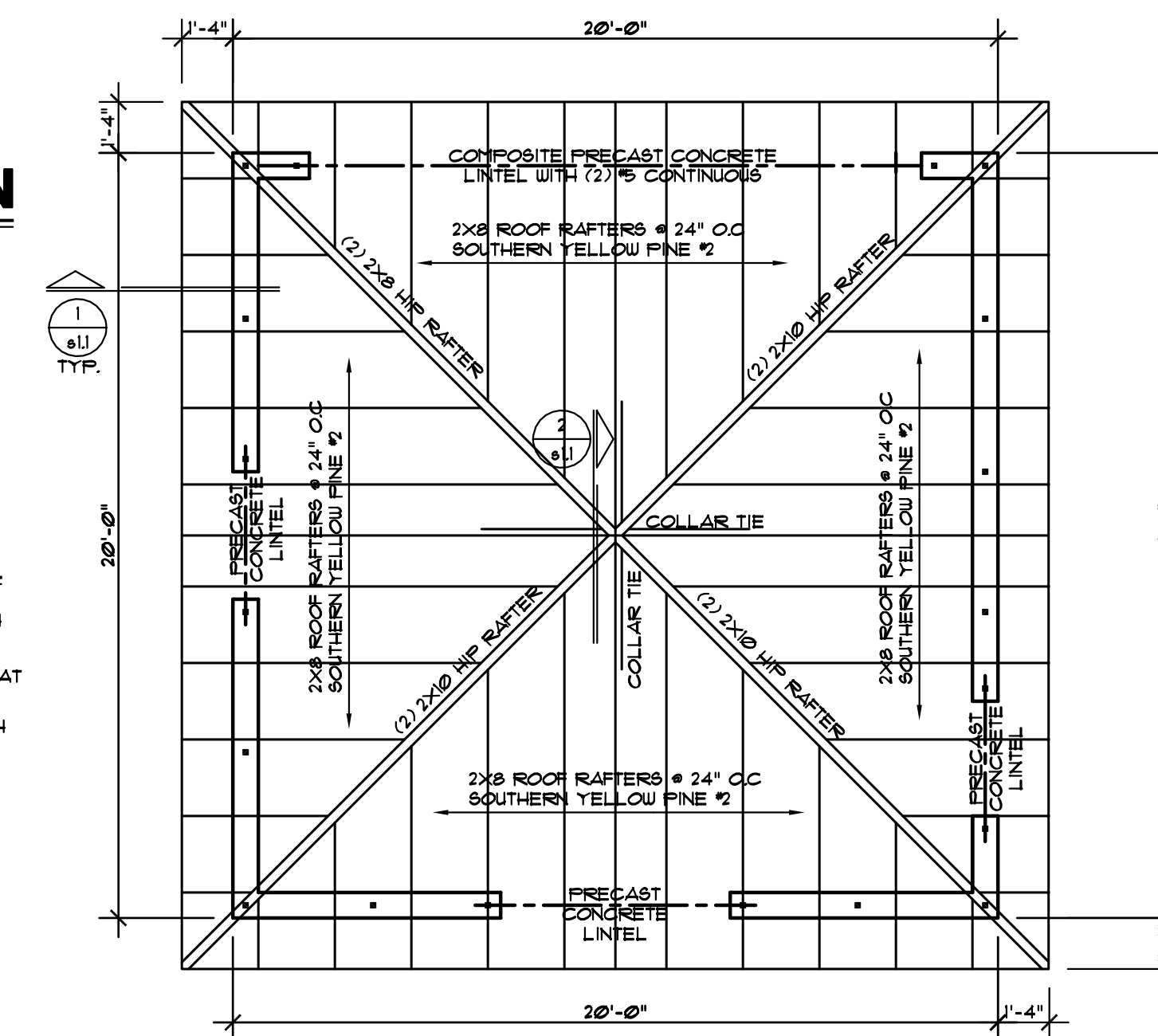
SCALE: 3/4" = 1'-0" (IN FEET)

**1**  
s1.1

### ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (IN FEET)

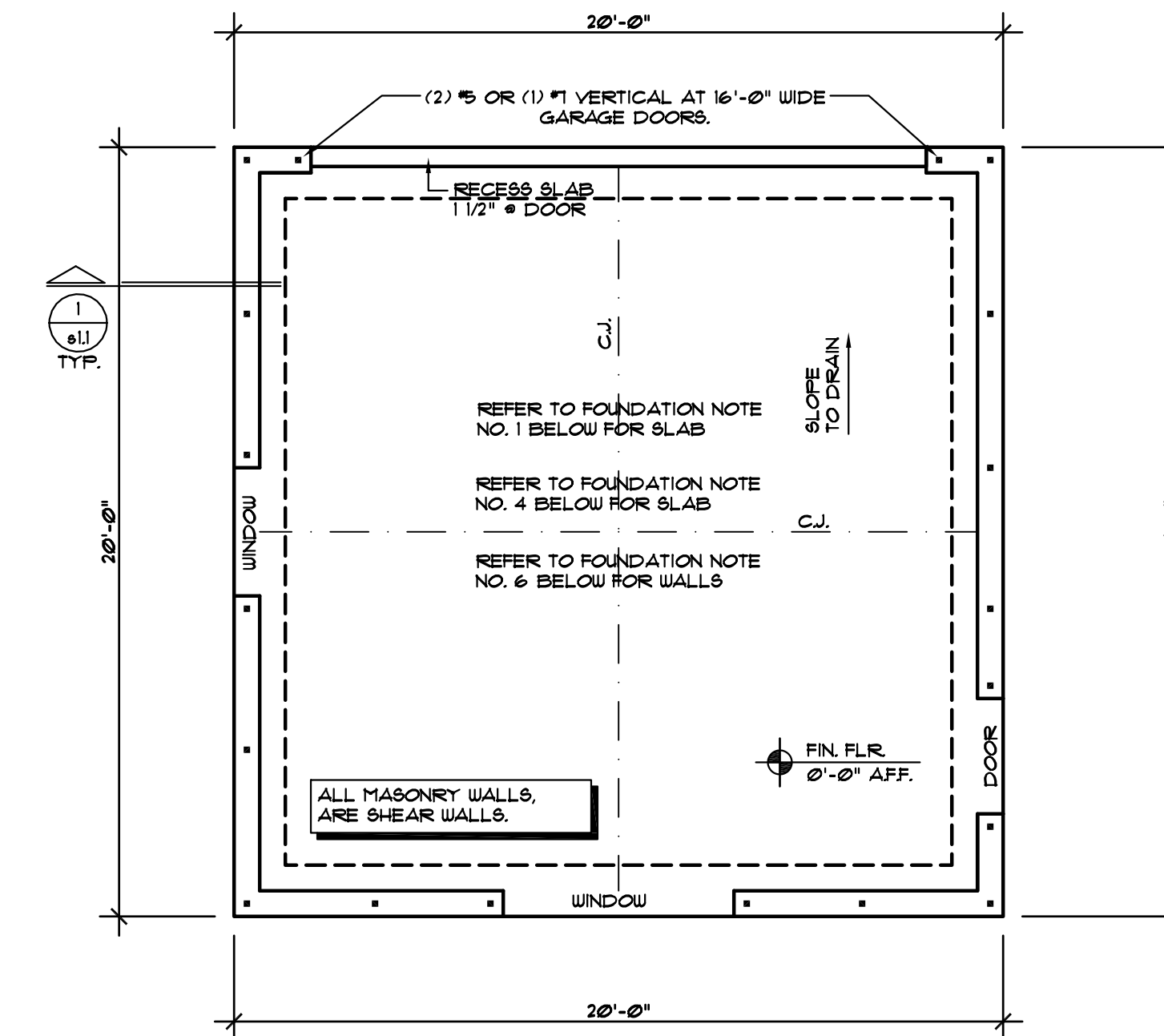
DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN ON THE DOCUMENTS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.



### ROOF PLAN NOTES:

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
2. ROOF FRAMING TO BE PRE-ENGINEERED WOOD TRUSSES AT 2'-0" O.C. EXCEPT WHERE NOTED.
3. ALL EXPOSED WOOD SHALL BE PRESURE TREATED WITH GALVANIZED NAILS, BOLTS, AND CONNECTORS.
4. USE GALVANIZED METAL CONNECTORS FOR WOOD TRUSSES AND BEAMS.
5. ALL FRAMING SHALL BE SOUTHERN YELLOW PINE #2.

ALL MASONRY WALLS, ARE SHEAR WALLS.



### FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (IN FEET)

### FOUNDATION NOTES:

1. SLAB-ON-GRADE TO BE 4" THICK W/ FIBER MESH ON 6 MIL VAPOR BARRIER (LAPPED AND TAPED)
2. TOP OF SLAB ELEV. + 0'-0" EXCEPT WHERE NOTED.
3. CJ = 3/16" W x 1" DP SAW CUT CONTROL JOINT.
4. PROVIDE TERMITES TREATED CLEAN, WELL COMPACTED FILL UNDER FLOOR SLAB.
5. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES
6. REINFORCE ALL MASONRY WALLS W/ 5V. @ 48" OC MAX. 4 ALL CORNERS + JAMBS

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

### TERMITE PROTECTION NOTES:

1. APPROVED TERMITES PROTECTIVE TREATMENT SHALL BE USED AND PROVIDED.
2. PERMANENT SIGNAGE FOR TREATMENT SHALL BE POSTED NEAR WATER HEATER OR ELECTRICAL PANEL.
3. A 6" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN EXTERIOR WALLS AND GRADE FOR TERMITES INSPECTION (4" MINIMUM FOR GARAGE/PATIO SLABS).
4. A 1'-0" MINIMUM CLEARANCE SHALL BE PROVIDED BETWEEN THE STRUCTURE'S SIDEWALLS AND CONDENSATE LINES, ROOF DOWNSPOUTS, SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS.
5. APPROVED TERMITES PROTECTION SHOULD BE PLACED/PROTECTED W/ 6 MIL VAPOR BARRIER. IT SHALL BE DONE AFTER EXCAVATION, BACKFILLING AND COMPACTION. ANY SOIL DISTURBANCE AFTER TREATMENT SHALL BE PROTECTED BY PERMANENT PLASTIC OR METAL FORMS IN CONCRETE FLOORS BOXED OUT OR CONSTRUCTED FOR THE INSTALLATION OF PLUMBING LINES AND THE LIKE. IF SOIL IS DISTURBED AFTER TREATMENT, SOIL SHOULD BE RETREATED.
6. ELIMINATE OVERPOUR OR MORTAR ACCUMULATION ALONG THE EXTERIOR FOUNDATION PERIMETER BEFORE TREATMENT TO ENHANCE VERTICAL PENETRATION OF CHEMICALS.
7. TREATMENT SHALL BE APPLIED TO ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF SIDEWALLS (W/ 6 MIL VAPOR BARRIER AFTER CONSTRUCTION)
8. NON-CELLULOSE MATERIAL W/ TERMITICIDE SHALL BE USED FOR PROTECTIVE SLEEVES AROUND METAL PIPING PENETRATING ON SLAB-ON-GRADE FLOORS
9. POST CONSTRUCTION, ALL LOOSE WOOD AND DEBRIS SHALL BE COMPLETELY REMOVED FROM UNDER THE BUILDING WITHIN 1'-0" EXCEPT FOR NATURALLY DURABLE OR P.T. WOOD FOR GROUND CONTACT AND INSTALLED 6" MIN. FROM THE STRUCTURE FOR TERMITES INSPECTION.

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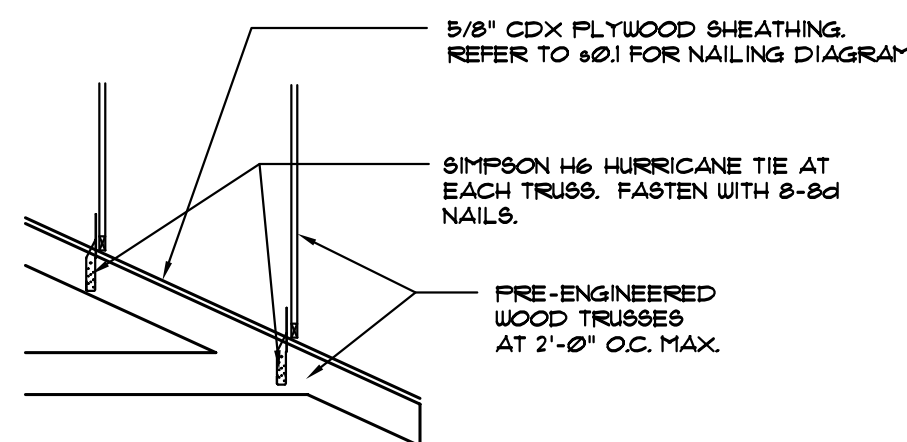
**Foundation Plan**

Project No. 2020-366R  
Date: September 5, 2020

Michael Arrigo  
Architect

**s1.1**

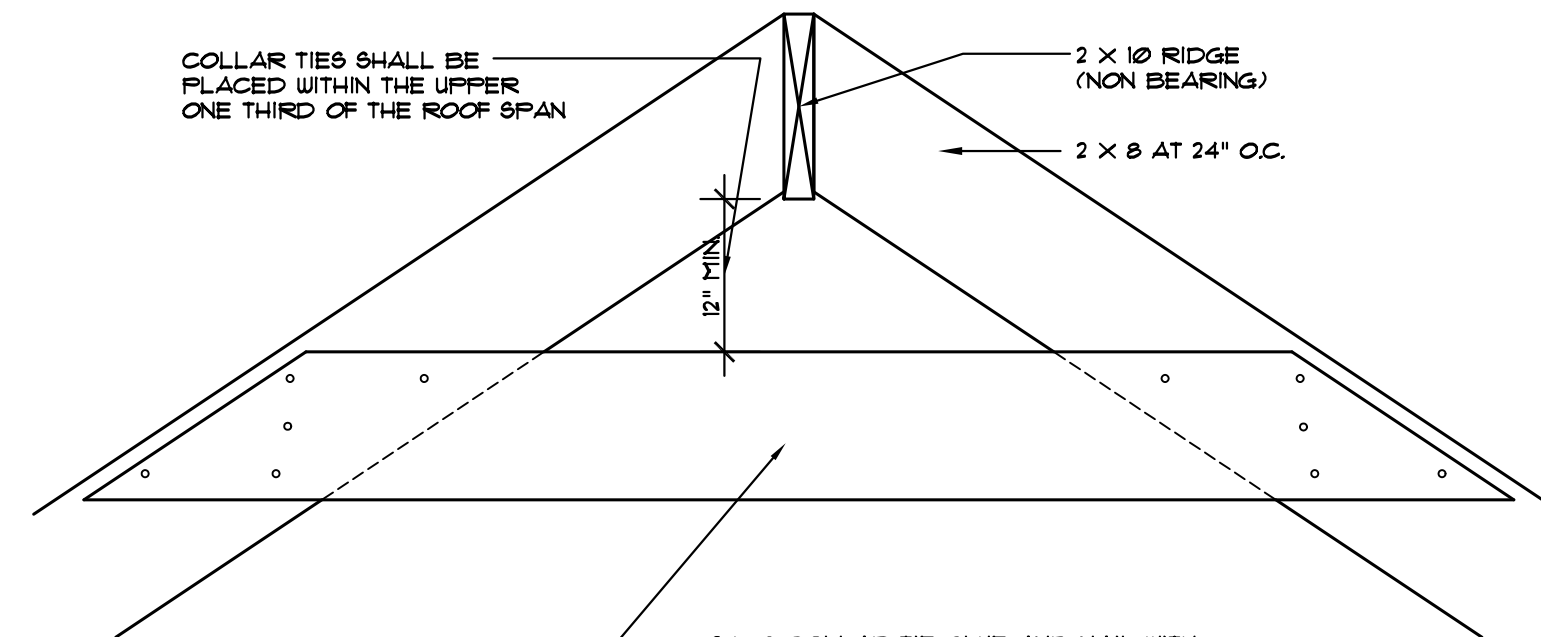




### ALTERNATE - VALLEY FRAMING DETAIL

SCALE: 3/4" = 1'-0"

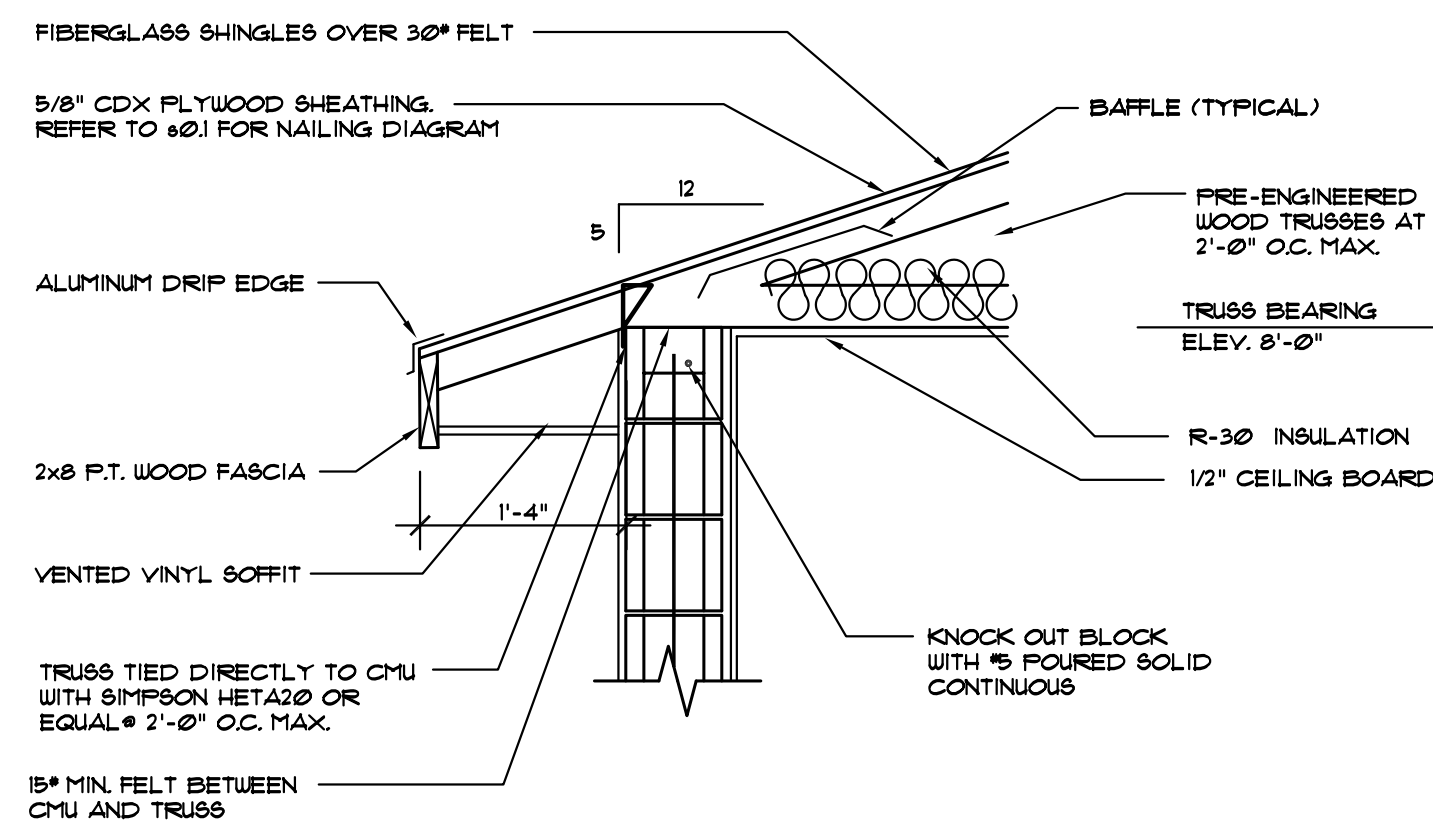
**3**  
s2.1



### COLLAR TIE DETAIL

SCALE: 1" = 1'-0"

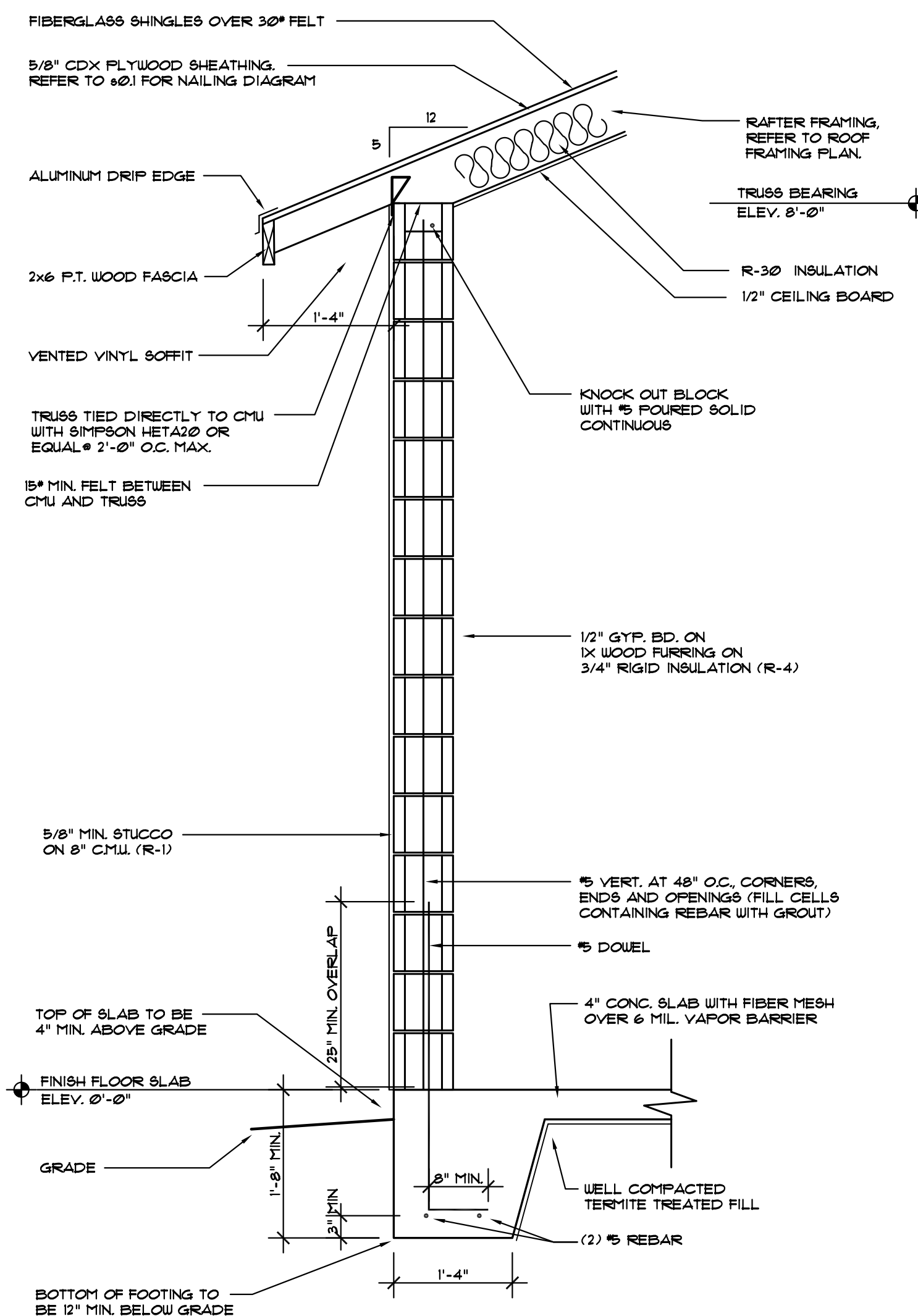
**2**  
s2.1



### ALTERNATE - TYP. TRUSS BEARING DETAIL

SCALE: 3/4" = 1'-0"

**4**  
s2.1



### TYPICAL WALL SECTION

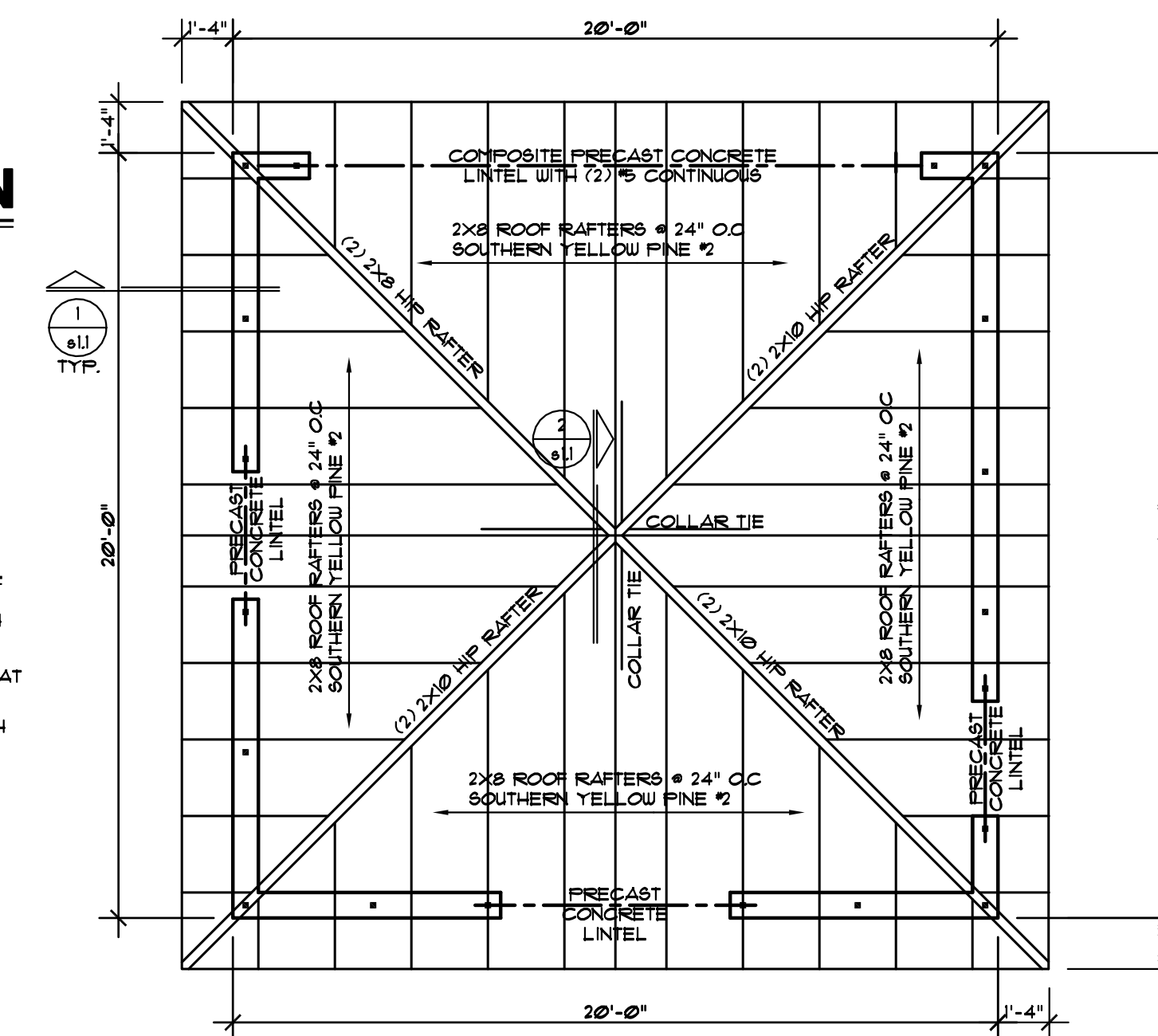
SCALE: 3/4" = 1'-0" (IN FEET)

**1**  
s1.1

### ROOF FRAMING PLAN

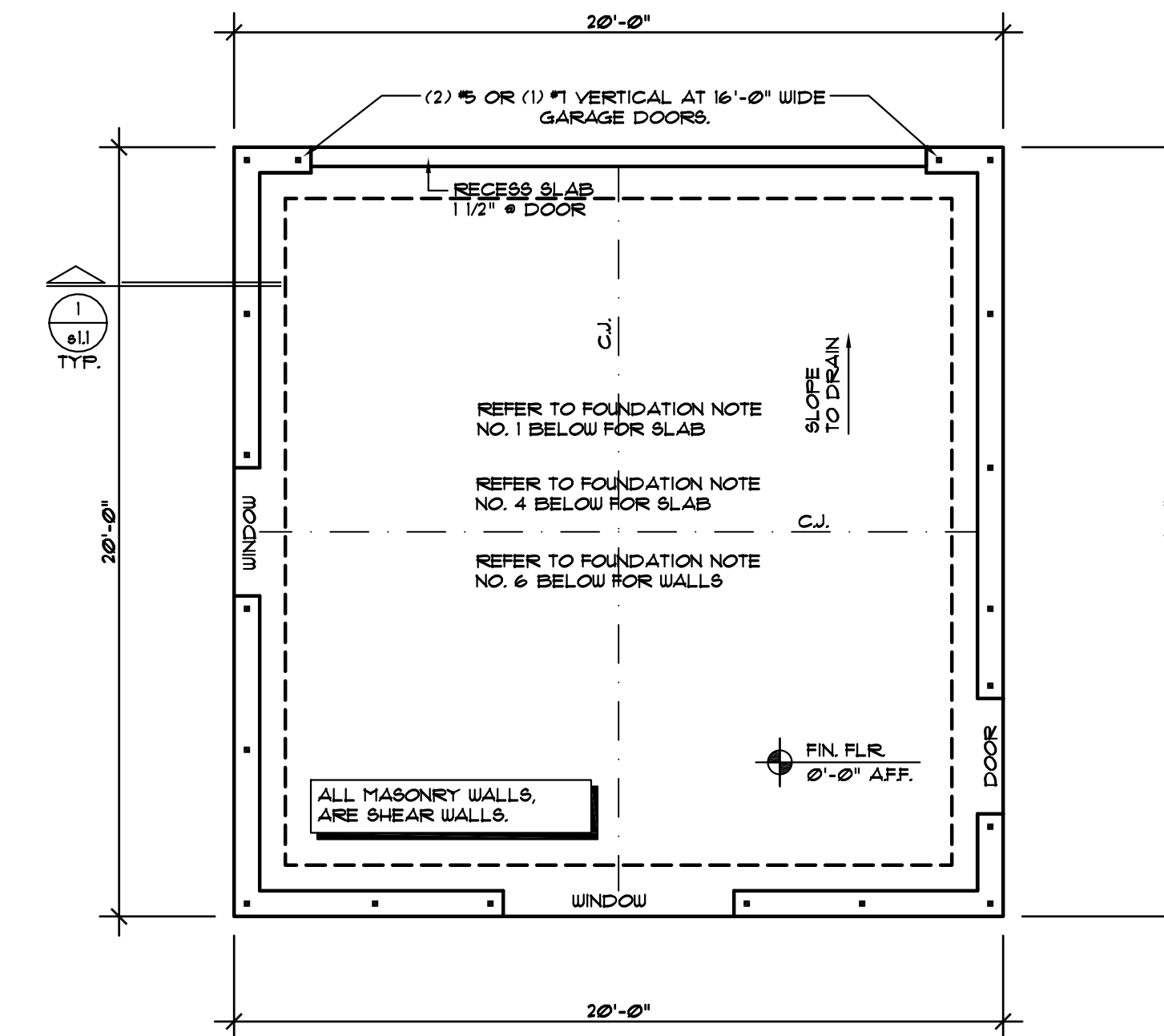
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### ROOF PLAN NOTES:

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### FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (IN FEET)

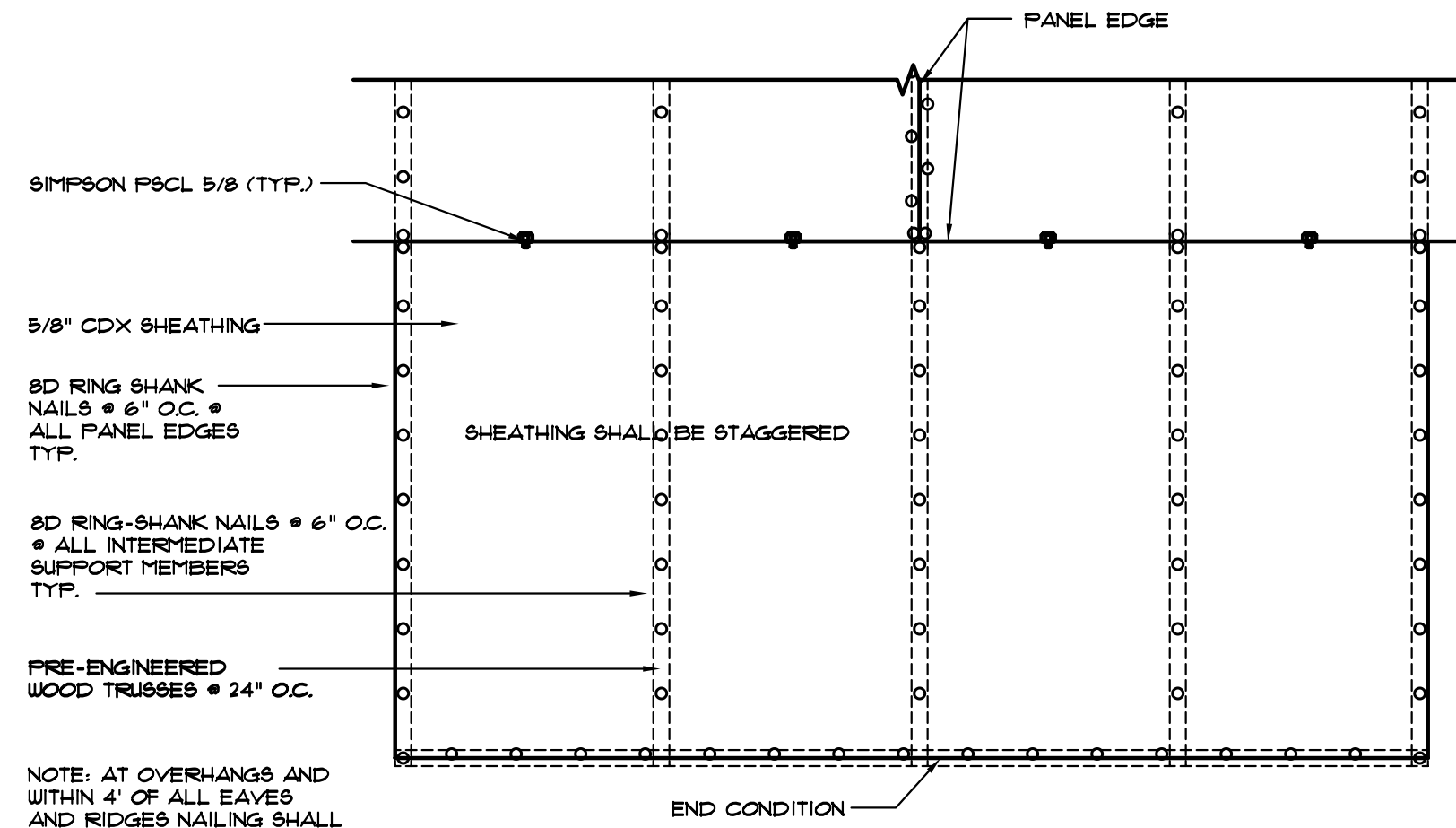
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2. TOP OF SLAB ELEV. + 0'-0" EXCEPT WHERE NOTED.
3. CJ = 3/16" W x 1" DP SAW CUT CONTROL JOINT.
4. PROVIDE TERMITES TREATED CLEAN, WELL COMPACTED FILL UNDER FLOOR SLAB.
5. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES
6. REINFORCE ALL MASONRY WALLS W/ #5, @ 48" OC MAX. # ALL CORNERS + JAMBS

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

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NOTE: AT OVERHANGS AND WITHIN 4" OF ALL EAVES AND RIDGES NAILING SHALL BE 4" AT PANEL EDGES AND 6" AT INTERMEDIATE SUPPORTS.

### ROOF SHEATHING NAILING DETAIL

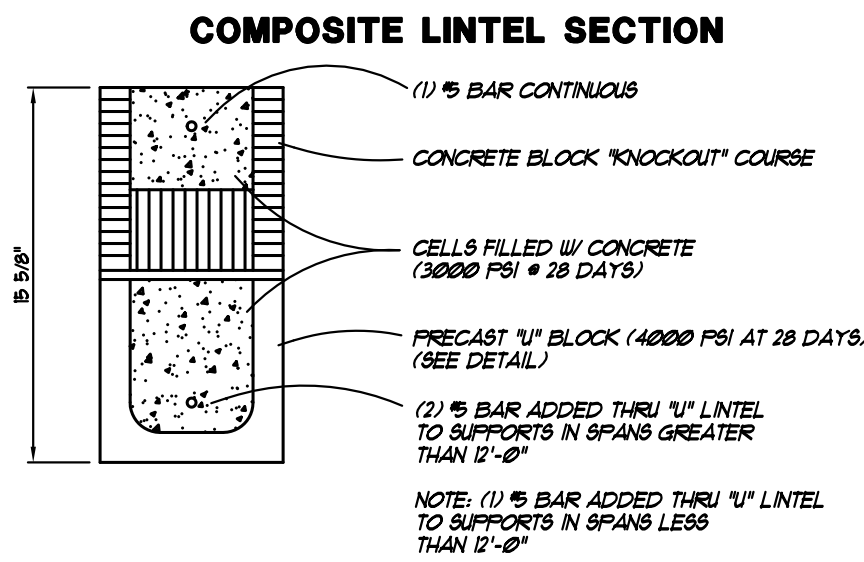
### REINFORCING SCHEDULE AND LOAD CAPACITIES

| LINTEL LENGTH | BAR LENGTH | CLEAR SPAN | BOTTOM REINFORCING BARS 'A' BARS                      | MAX SAFE LOAD LINTEL ONLY | SAFE LOAD ON COMPOSITE |
|---------------|------------|------------|---|---------------------------|------------------------|
| 2'-10"        | 2'-8"      | 1'-6"      | (2) 1/2" DIA FLAIN BARS ENDS HOOKED UP 90° FOR 2 1/2" | 1000#                     | 3000#                  |
| 3'-6"         | 3'-4"      | 2'-2"      |   | 1000#                     | 1800#                  |
| 4'-6"         | 4'-4"      | 3'-2"      |   | 1000#                     | 2400#                  |
| 5'-4"         | 5'-2"      | 4'-0"      | (2) 5   | 1000#                     | 2400#                  |
| 5'-10"        | 5'-8"      | 4'-6"      |   | 800#                      | 1800#                  |
| 6'-4"         | 6'-2"      | 5'-0"      |   | 800#                      | 2000#                  |
| 6'-8"         | 6'-4"      | 5'-4"      |   | 800#                      | 1800#                  |
| 7'-6"         | 7'-0"      | 6'-2"      | (2) 4   | 800#                      | 2250#                  |
| 8'-4"         | 7'-10"     | 7'-0"      |   | 800#                      | 1800#                  |
| 9'-4"         | 8'-10"     | 8'-0"      | (2) 5   | 800#                      | 2000#                  |
| 10'-6"        | 10'-0"     | 9'-2"      |   | 800#                      | 1800#                  |
| 11'-4"        | 10'-10"    | 10'-0"     | (2) 5   | 800#                      | 2000#                  |
| 12'-6"        | 12'-0"     | 11'-2"     |   | 100#                      | 1000#                  |
| 13'-4"        | 12'-10"    | 12'-0"     |   | 650#                      | 1600#                  |
| 14'-0"        | 13'-6"     | 12'-8"     |   | 600#                      | 1100#                  |

1. BAR STEEL SHALL BE MIN. GRADE 60, DEFORMED EXCEPT WHERE FLAIN BARS (HOOKED FOR BOND ANCHORAGE) ARE SPECIFICALLY PERMITTED.
2. PRECAST 'U' BLOCK (4000 PSI AT 28 DAYS), CELLS FILLED WITH CONCRETE (3000 PSI AT 28 DAYS).

### REINFORCING SCHEDULE AND LOAD CAPACITIES

| LINTEL LENGTH | CLEAR SPAN | 'A' BAR SCHEDULE | MAX SAFE LOAD LINTEL ONLY | SAFE LOAD ON COMPOSITE |
|---------------|------------|------------------|---------------------------|------------------------|
| 14'-8"        | 13'-4"     | NONE             | 650#                      | 1900#                  |
| 15'-4"        | 14'-0"     | NONE             | 650#                      | 1800#                  |
| 17'-4"        | 16'-0"     | 4 BARS           | 570#                      | 1500#                  |
| 19'-4"        | 18'-0"     | (2) 5 BARS       | 500#                      | 1400#                  |
| 20'-0"        | 18'-8"     | (2) 5 BARS       | 425#                      | 1400#                  |
| 22'-0"        | 20'-8"     | (2) 5 BARS       | 380#                      | 1220#                  |
| 24'-0"        | 22'-8"     | (2) 5 BARS       | 320#                      | 100#                   |



### TYPICAL LINTEL SECTIONS

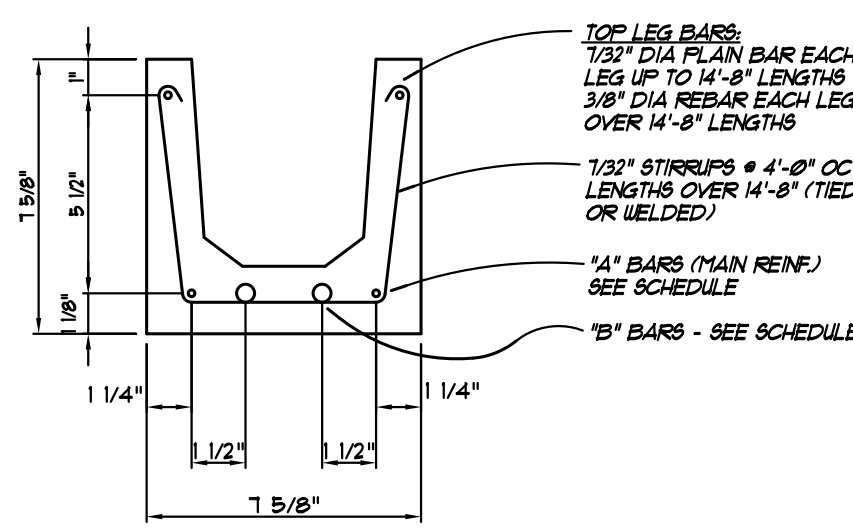
| LENGTH                    | SAFE LOAD - POUNDS PER LINEAL FOOT |        |
|---------------------------|------------------------------------|--------|
|                           | UNFILLED                           | FILLED |
| 4'-0" (48") PRECAST       | 1875                               | 6048   |
| 4'-6" (54") PRECAST       | 1860                               | 485    |
| 5'-4" (64") PRECAST       | 575                                | 3744   |
| 5'-10" (70") PRECAST      | 1743                               | 465    |
| 6'-6" (78") PRECAST       | 565                                | 3760   |
| 7'-6" (90") PRECAST       | 850                                | 2887   |
| 9'-4" (112") PRECAST      | 1025                               | 1747   |
| 10'-6" (126") PRECAST     | 922                                | 1333   |
| 11'-4" (136") PRECAST     | 800                                | 1483   |
| 12'-0" (144") PRECAST     | 750                                | 1364   |
| 13'-4" (160") PRECAST     | 651                                | 1018   |
| 14'-0" (168") PRECAST     | 585                                | 909    |
| 14'-8" (176") PRESTRESSED | 563                                | 1341   |
| 15'-4" (184") PRESTRESSED | 510                                | 1210   |
| 17'-4" (208") PRESTRESSED | 387                                | 917    |
| 19'-4" (232") PRESTRESSED | 289                                | 823    |
| 21'-4" (256") PRESTRESSED | 233                                | 879    |
| 22'-0" (264") PRESTRESSED | 278                                | 857    |
| 24'-0" (288") PRESTRESSED | 226                                | 716    |

-- ABOVE INFORMATION IS BASED ON CAST-CRETE (TECP CORP.) BRAND LINTELS.  
 -- BASED ON TESTS CONDUCTED BY WERNER R. ROCH, P.E.  
 -- PRECAST LINTELS MAY BE SUPPLIED BY CAST-CRETE OR OTHER BUILDING CODE APPROVED PRECAST MANUFACTURERS.

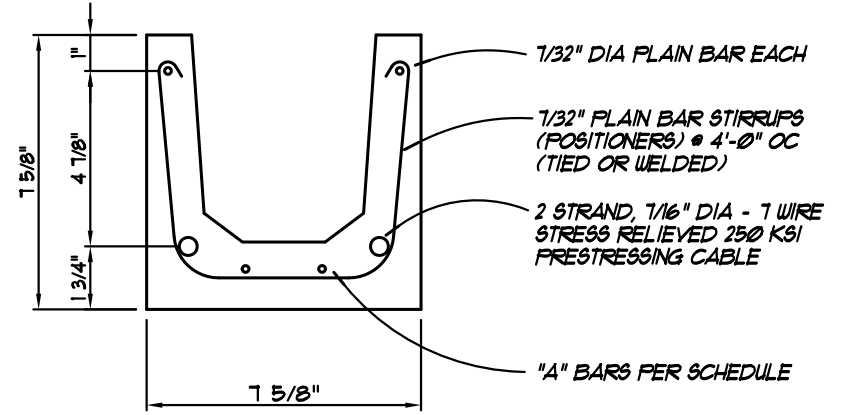
### CAST-CRETE PRECAST LINTEL SAFE LOADS

| STRUCTURAL MEMBER  | ALLOWABLE DEFLECTION |
|--|----------------------|
| ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS   |                      |
| RAFTERS HAVING SLOPES GREATER THAN 3/12 WITH NO FINISHED CEILING ATTACHED TO RAFTERS | L/180                |
| INTERIOR WALLS AND PARTITIONS  | L/180                |
| FLOORS AND PLASTERED CEILING   | L/360                |
| CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)                              | L/240                |
| ALL OTHER STRUCTURAL MEMBERS   | L/240                |
| EXTERIOR WALLS WITH PLASTER OR STUCCO FINISH   | L/360                |
| EXTERIOR WALLS--WIND LOADS WITH BRITTLE FINISHES                                     | L/240                |
| EXTERIOR WALLS--WIND LOADS WITH FLEXIBLE FINISHES                                    | L/120                |
| LINTELS SUPPORTING MASONRY VEENEER WALLS   | L/1600               |

### PRECAST CONCRETE



### PRESTRESSED CONCRETE



### WIND PRESSURE FOR ROOF COMPONENTS AND CLADDING (P.S.F.)

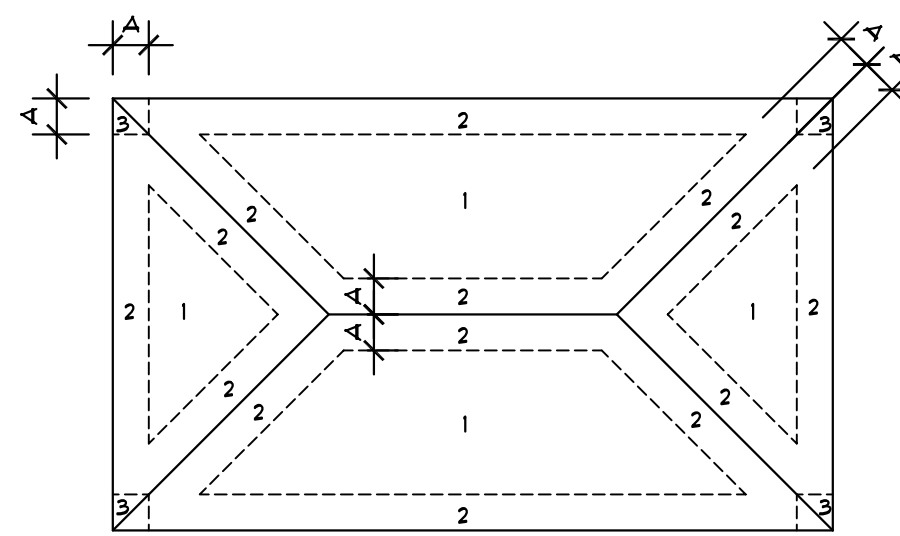
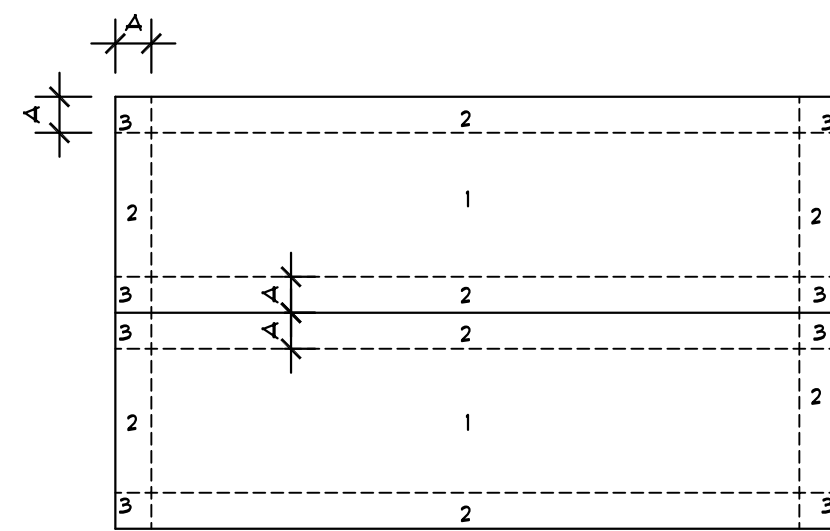
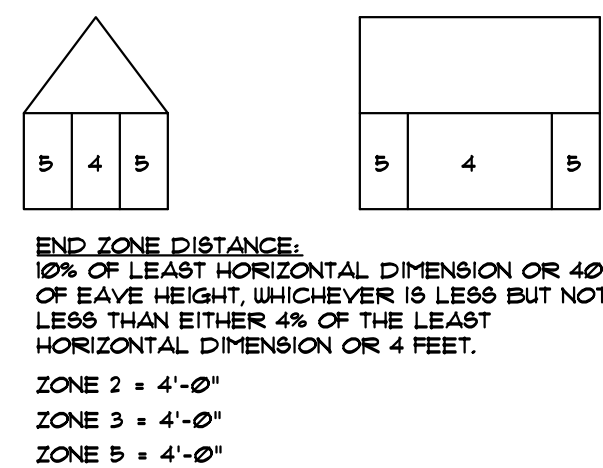
| OPENING AREA | ROOF ANGLE 1-21 DEGREES                 |                        |                        |
|--------------|---|------------------------|------------------------|
|              | 1                                       | 2                      | 3                      |
| 10 FT. SQ.   | PRESSURE +13.1 PSF<br>SUCTION -20.5 PSF | +13.1 PSF<br>-35.6 PSF | +13.1 PSF<br>-53.0 PSF |
| 20 FT. SQ.   | PRESSURE +12.0 PSF<br>SUCTION -19.5 PSF | +12.0 PSF<br>-33.0 PSF | +12.0 PSF<br>-49.5 PSF |
| 50 FT. SQ.   | PRESSURE +10.6 PSF<br>SUCTION -19.0 PSF | +10.6 PSF<br>-29.0 PSF | +10.6 PSF<br>-45.0 PSF |
| 100 FT. SQ.  | PRESSURE +10.0 PSF<br>SUCTION -18.5 PSF | +10.0 PSF<br>-26.0 PSF | +10.0 PSF<br>-41.5 PSF |

TABLE VALUES HAVE BEEN MULTIPLIED BY 0.6 TO CONVERT COMPONENT AND CLADDING PRESSURES TO ASD. (ALLOWABLE STRESS DESIGN)

### WIND PRESSURE FOR WALL COMPONENTS AND CLADDING (P.S.F.)

| OPENING AREA | WALL AREA                               |                        |
|--------------|---|------------------------|
|              | 4                                       | 5                      |
| 10 FT. SQ.   | PRESSURE +22.8 PSF<br>SUCTION -24.0 PSF | +22.8 PSF<br>-30.0 PSF |
| 20 FT. SQ.   | PRESSURE +21.7 PSF<br>SUCTION -23.5 PSF | +21.7 PSF<br>-28.0 PSF |
| 50 FT. SQ.   | PRESSURE +20.4 PSF<br>SUCTION -21.5 PSF | +20.4 PSF<br>-25.0 PSF |
| 100 FT. SQ.  | PRESSURE +19.3 PSF<br>SUCTION -20.5 PSF | +19.3 PSF<br>-23.5 PSF |
| 500 FT. SQ.  | PRESSURE +17.0 PSF<br>SUCTION -18.5 PSF | +17.0 PSF<br>-18.5 PSF |

TABLE VALUES HAVE BEEN MULTIPLIED BY 0.6 TO CONVERT COMPONENT AND CLADDING PRESSURES TO ASD. (ALLOWABLE STRESS DESIGN)



## STRUCTURAL SPECIFICATIONS:

### WARNING:

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDANT UPON THE COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-SUPPORTING DURING CONSTRUCTION AND REQUIRE TEMPORARY BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION IS SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

### CAST IN PLACE CONCRETE:

- ALL REINFORCED CONCRETE SHALL BE NORMAL WEIGHT. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS:
  - SLAB ON GRADE + 3000 PSI MIN.
  - FOOTINGS, COLUMNS, TIE BEAMS + 3000 PSI
  - PRECAST 'U' BLOCK + 4000 PSI
  - FILLED CELLS + 3000 PSI
- CONCRETE REINFORCING STEEL SHALL BE GRADE 60
- WELDED WIRE FABRIC SHALL BE 6" X 6" - W4/W4

### WOOD TRUSS NOTES:

- ALL DESIGNS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF FLORIDA. ALL SHOP DRAWINGS AND CALCULATIONS SHALL BEAR THE SIGNATURE AND SEAL OF THE ENGINEER.
- ALL TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND AS SET FORTH BY THE TIMBER FRAMING CODES.
  - ROOF TOTAL LOAD + 40 PSF
  - WLL TOP CHORD + 20 PSF
  - BOTTOM CHORD + 0 PSF
  - WDL TOP CHORD + 20 PSF
  - BOTTOM CHORD + 10 PSF

### WOOD FRAMING:

- ALL STRUCTURAL LUMBER AND EXTERIOR FRAMING SHALL BE #2 SOUTHERN YELLOW PINE OR BETTER UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL WOOD FRAMING SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN THE FLORIDA BUILDING CODE SIXTH ADDITION (2017) AND SHALL INCLUDE BUT NOT BE LIMITED TO CONNECTIONS, BRACING, BRIDGING AND NAILING.

### FOUNDATION REINFORCING:

- THE REQUIRED MINIMUM LAP SPICE FOR REBARS SHALL BE (40 BAR DIAMETERS).
- EMBED FOOTING DOUELLS 6" MINIMUM INTO FOOTINGS, EXTEND INTO THE BEAMS AND BEND HOOKS OVER TOP BAR 25" MINIMUM.

### CARPENTRY:

- DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- ALL LUMBER SHALL BE SOUTHERN PINE NO. 2 GRADE OR BETTER WITH 19% MAXIMUM MOISTURE CONTENT.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE TREATED.
- PRESURE TREATED LUMBER SHALL BE IMPREGNATED WITH A COCA SALT TREATMENT IN ACCORDANCE WITH F.S. TT-U-971 AND BEAR THE AMERICAN WOOD PRESERVERS INSTITUTE QUALITY MARK LP-2.
- PLYWOOD SHEATHING SHALL BE CDX WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
- INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0" O.C. MAXIMUM. INSTALL BLOCKING IN ALL WALL STUDS @ MID-HEIGHT.
- ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
- ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONGTIE CO.
- PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL LOAD BEARING STUD WALLS. SILL PLATES SHALL BE BOLTED TO FOUNDATION AT A MAXIMUM OF 4'-0" O.C.
- STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL CORNERS.
- ALL OUTSIDE CORNERS SHALL BE BRACED WITH A DIAGONAL 1 X 4 LET INTO OUTSIDE EDGE OF 2 X 4 STUDS, UNLESS PLYWOOD SHEATHING IS SHOWN ON DRAWINGS.

### DESIGN CRITERIA

FLORIDA BUILDING CODE SIXTH EDITION (2017)

|  |   |
|--|---|
| ULTIMATE WIND LOAD                                   | 145 MPH                                   |
| EXPOSURE   | "B"                                       |
| PROTECTION OF OPENINGS                               | ENCLOSED                                  |
| INTERNAL PRESSURE COEF.                              | +0.18 - 0.18                              |
| RISK CATEGORY  | II  |
| SOIL DESIGN BEARING CAPACITY                         | 2,000 PSF                                 |
| COMPONENTS & CLADDING                                | REFER TO INDIVIDUALS ITEMS ON FLOOR PLANS |
| REFER TO WOOD TRUSS NOTES THIS SHEET FOR TRUSS LOADS |   |

ROOF LIVE LOAD + 20 PSF  
 ROOF DEAD LOAD + 20 PSF  
 TOTAL ROOF LOAD + 40 PSF

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 www.architectonicsstudio.com

**2151 4th Ave. N.**  
 New Garage  
 Florida  
 St. Petersburg,

**Structural Notes**  
 Project No. 2020-366R  
 Date: September 5, 2020  
 Revisions:  
 Michael Arrigo  
 L.C. No. AR2011335

**s0.1**  
 ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

# Appendix B:

## Maps of Subject Property



Southeast Kenwood Local Historic District

**Community Planning and Preservation Commission**

**2151 4th Ave. N**

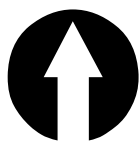
**AREA TO BE APPROVED,**

**SHOWN IN**



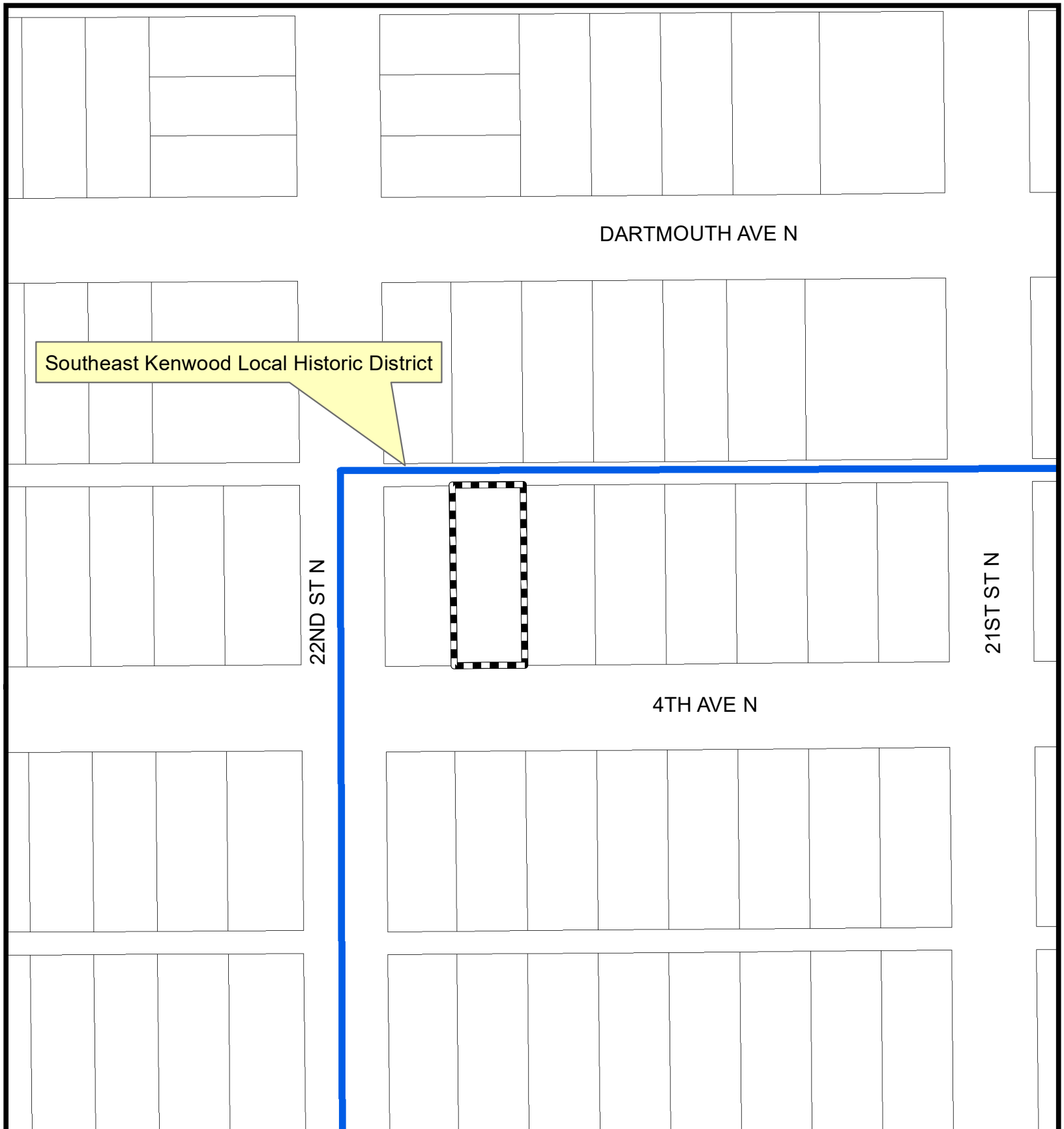
**CASE NUMBER**

**20-90200109**



**N**

**SCALE:  
1" = 100'**



DARTMOUTH AVE N

Southeast Kenwood Local Historic District

22ND ST N

21ST ST N

4TH AVE N

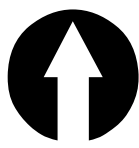
**Community Planning and Preservation Commission**

**2151 4th Ave. N**

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SHOWN IN**



**CASE NUMBER  
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**N**

SCALE:  
1" = 100'